



Building Guide

Colorado Chapter of the International Code Council

Single Family Residential Addition

How to Use this Guide

Provide two sets of plans and complete the following:

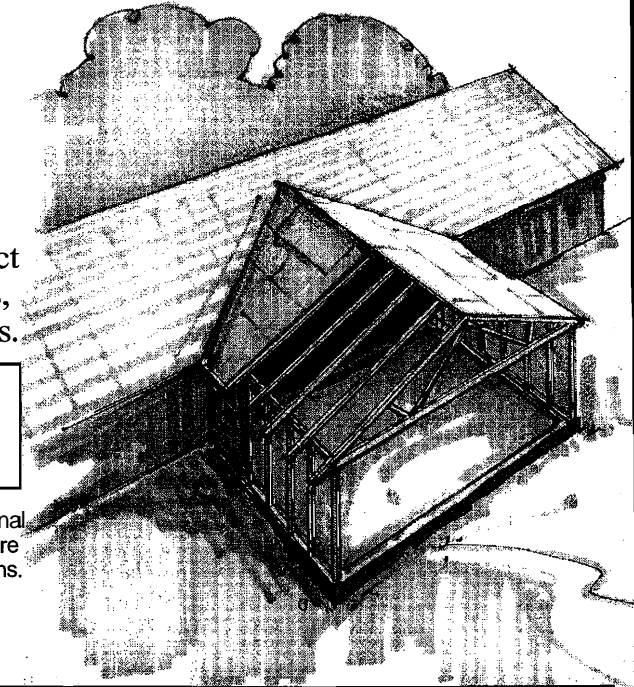
1. **Complete** this Building Guide by filling in the blanks on page two and indicating which construction details will be used, and the R value of insulation used.
2. Provide **2 Plot Plans** showing dimensions of your project or addition and its relationship to existing buildings or structures on the property. Show all easements and the distance to existing property lines drawn to scale.
3. Provide **2 Floorplans.**
Drawn to scale. See example on page 4.
4. Fill out a Building Permit Application.

The majority of permit applications are processed with little delay. The submitted documents will help determine if the project is in compliance with building safety codes, zoning ordinances and other applicable laws.

Smoke alarms are required to be hardwired and interconnected in new and existing bedrooms, halls and on each level unless removal of interior wall or ceiling finishes would be required. In this case, battery operated devices are acceptable.

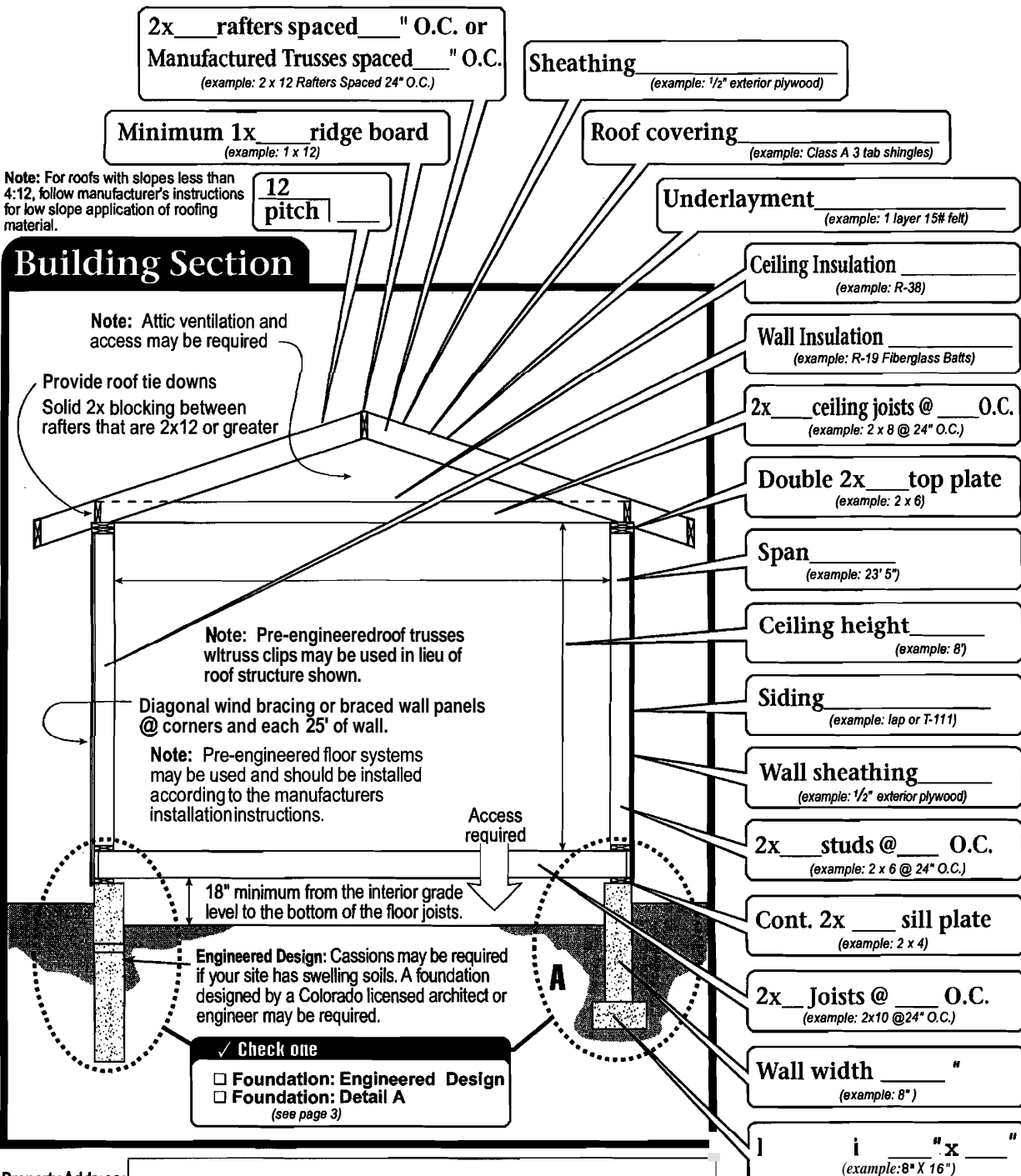
The Colorado Chapter of the International Code Council is a professional organization seeking to promote the public health, safety and welfare to building construction. We appreciate your feedback and suggestions. To obtain a master copy of this building guide, please write to the Colorado Chapter of the International Code Council, P.O. Box 961, Arvada, CO 80001. <http://www.coloradochaptericc.org>

This handout was developed by the Colorado Chapter of the International Code Council as a basic plan submittal under the 2006 International Residential Code. It is not intended to cover all circumstances. Check with your Department of Building Safety for additional requirements.




City of Greeley
Building Inspection Division
1100 10th Street, Suite 114
Greeley, CO 80631

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Heads Up

Site Plan

1. When drawing your plot plan be sure to show the location of electric, gas, sewer and water service lines. If you don't know where they are, call the Public Service Utility Notification Center of Colorado, 1-800-922-1987. They will come out and locate lines for you. Remember to ask them about the cost.

2. Show where the existing electric and gas meters are located on your home. These meters may have to be relocated and it is best to know this before you start construction.

Floor Plan

1. Smoke alarms. Smoke alarms are required to be hardwired and interconnected in new and existing bedrooms, halls and one on each level unless removal of interior wall or ceiling finishes would be required. In this case, battery operated devices are acceptable.

2. Additions not to enclose bedroom or basement egress windows.

3. Safety glass is required at specific locations. When you draw in the location of the new windows on the floor plan, the plan reviewer can identify which ones require safety glass.

4. Heat is required in all habitable rooms. Show how the addition will be heated on the plan.

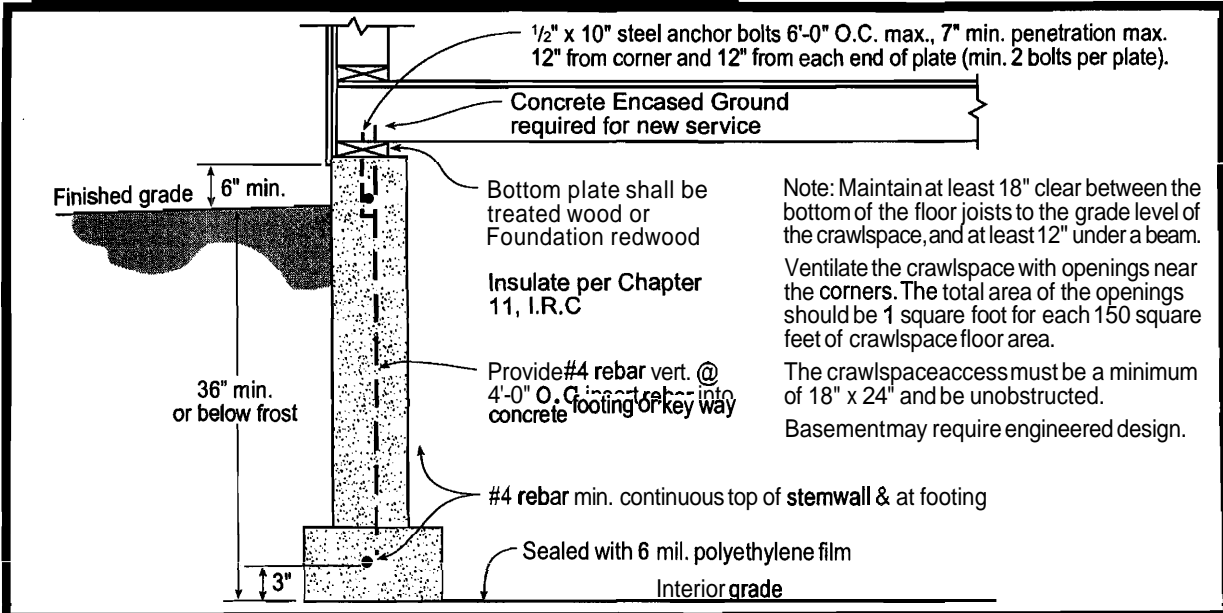
Electric Code

Existing electric service may require an upgrade or relocation. Indicate the size of your electric service (the number on the main breaker) on your plan. This can help the plan reviewer determine if an upgrade is needed before you start construction.

Roof Overframe

When constructing a new valley, use a continuous board under the bottom cut of the new rafters to provide a solid nailing surface. The board should be at least 2" thick, nominal and should be at least as wide as the base of the new rafter.

Crawlspace Foundation Detail A



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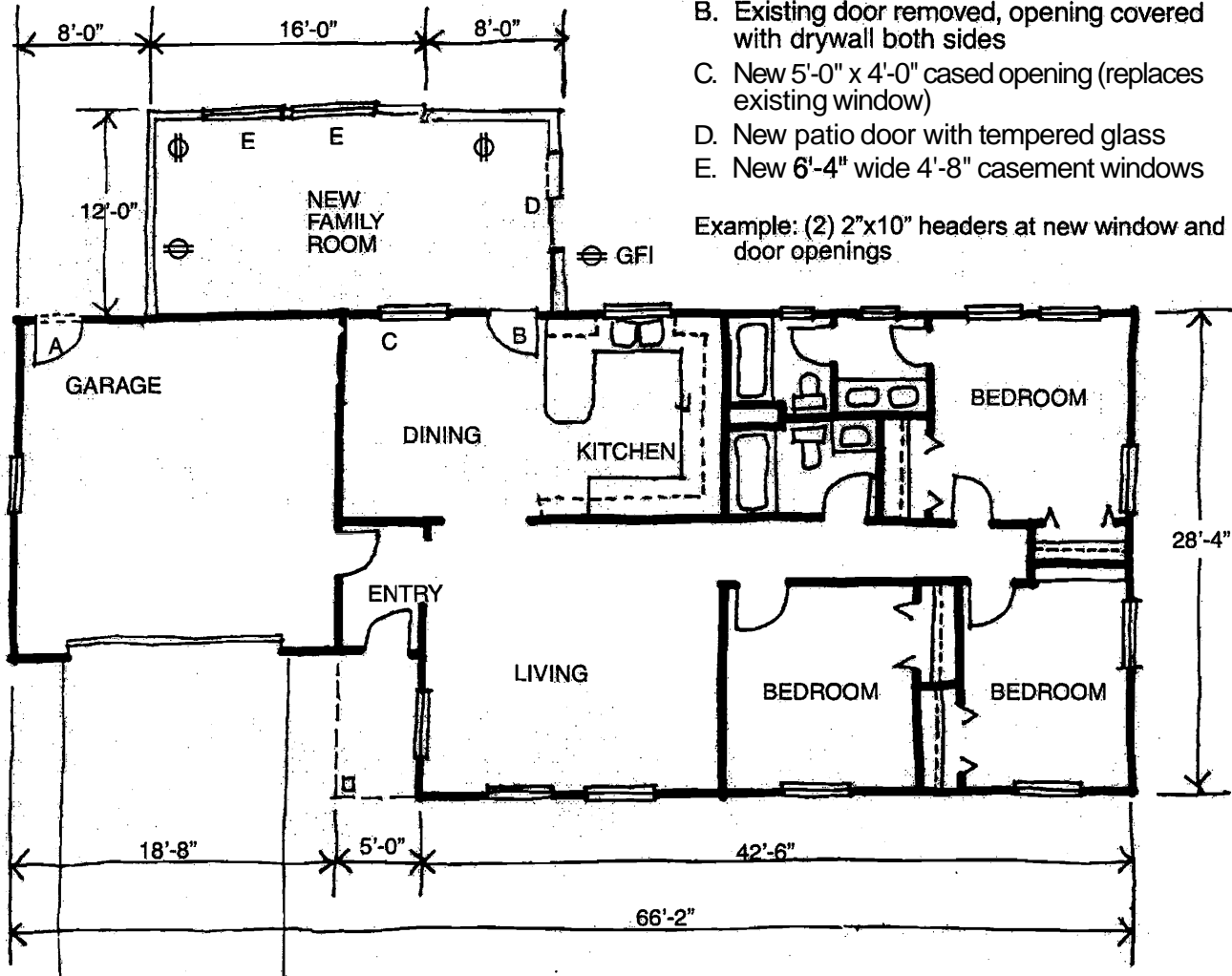
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Sample Floor Plan

NOTES:

- A. New 3'-0" x 6'-8" door in existing wall
- B. Existing door removed, opening covered with drywall both sides
- C. New 5'-0" x 4'-0" cased opening (replaces existing window)
- D. New patio door with tempered glass
- E. New 6'-4" wide 4'-8" casement windows

Example: (2) 2"x10" headers at new window and door openings



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Additions

Owner _____

Address _____ Telephone _____

Zoning of Property _____

Prior to application to the Building Inspection Division for a building permit for An addition, please provide the following information to the Planning Division, For review and approval: (Property owner must sign and initial)

1. Site plan, drawn to scale, which shows:
 - A. Location of the proposed addition relative to property lines.
 - B. Footprint of the principal building, including the garage.
 - C. Lot coverage, percent of building coverage, percent of landscaping coverage, percent of area covered in a hard surface.
 (See sample site plan on the back of this sheet.)

2. Building elevations, drawn to scale, which shows:
 - A. The existing structure.
 - B. All sides of the addition.
 - C. Proposed exterior materials and colors.

3. For additions, indicate your intent to comply with the following by placing your initials on the line provided:
 - ___ A. The proposed addition will have a point of attachment constituting a minimum of 20% of the circumference of the exterior walls of the addition.
 - ___ B. The maximum height of the addition shall be limited to 150% of the average height of the existing principal structures on the block face.
 - ___ C. The maximum length and width of an addition shall be limited to 150% of the average length and width of perimeter walls of the existing principal structures on the block face.
 - ___ D. The addition will be constructed of similar materials and in a similar design as the principal structure.

4. For patio covers, carports, decks, **and/or** porches, indicate your intent to comply with the following by placing your initials on the line provided:
 - ___ A. Porches and patios attached to the principal building, whether or not covered by roofs, may extend to within 10' of the front property line, provided that such remain at least 65% open and unobstructed on three sides.
 - ___ B. Patio covers, carports, decks, and/or porches may extend into the rear setback to within 5', provided that such shall remain at least 65% open and unobstructed on three sides.
 - ___ C. Uncovered porches and patios shall be permitted within required interior side yard setbacks.

This is to certify that I/we have read and understand the conditions of the Greeley Development Code concerning additions I/we agree to abide by the conditions stated herein.

Property Owner's Signature

Date _____

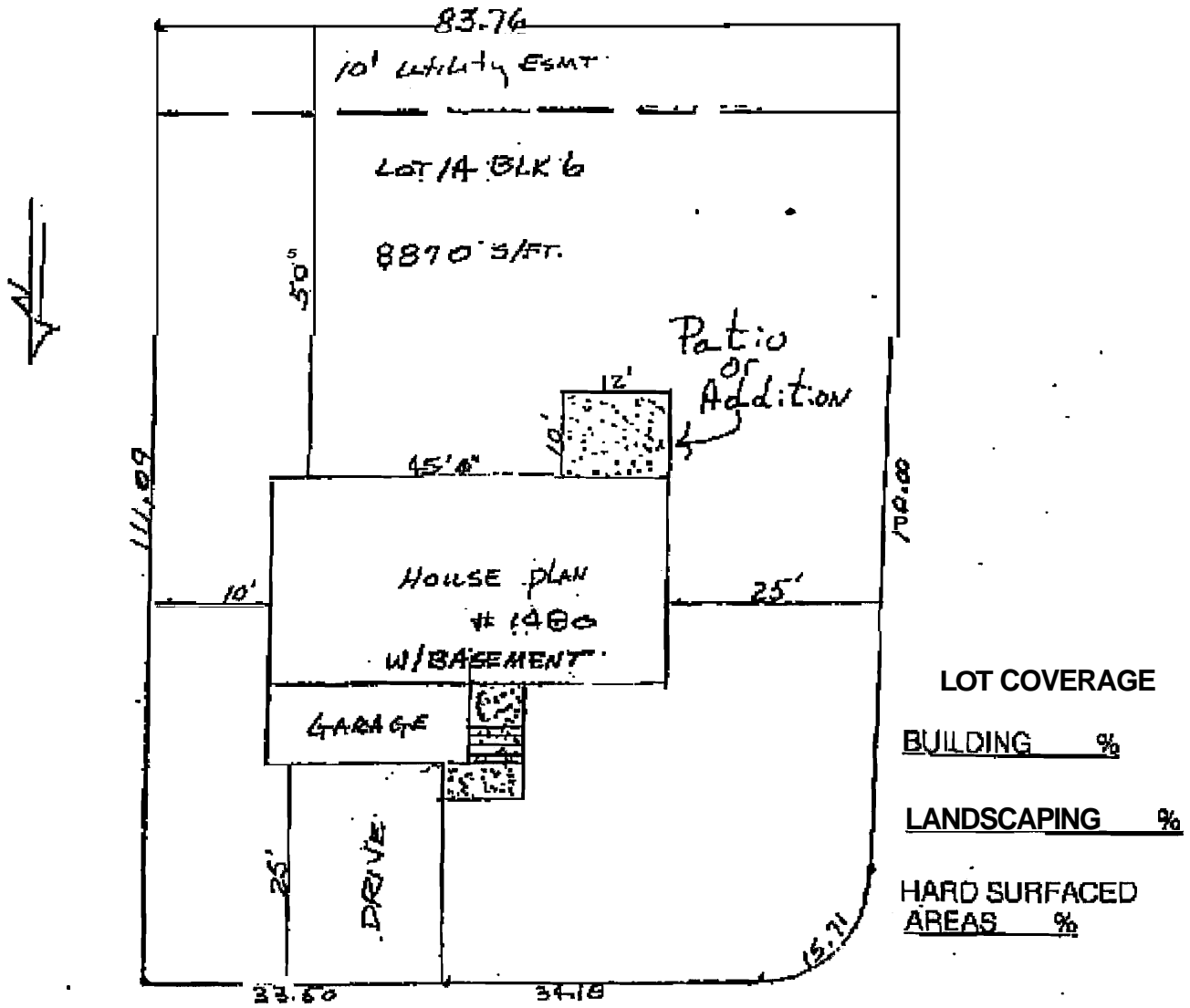
Reviewed for Zoning Compliance by _____

Date _____

(See reverse side for any additional comments)

Comments: _____

EXAMPLE



Scale 1" = 20'

SITE PLAN