



PLANNING COMMISSION Agenda

February 11, 2020

**Council Chambers - City Center South
1001 11th Avenue
1:15 p.m.**

I. Call to Order

II. Approval of minutes for meeting held on January 14, 2020

III. A public hearing to consider a request to rezone a 2.77-acre tract from R-M (Residential Medium Density) to R-H (Residential High Density)

Project Name: Regalado Rezone
Case No.: ZON2018-0014
Applicant: Mark Taylor
Location: 1913 5th Street
Presenter: Kira Stoller, Planner I

IV. A public hearing to consider a request to rezone a 295-acre tract from PUD (Planned Unit Development) to PUD (Planned Unit Development)

Project Name: Lake Bluff Rezone
Case No.: ZON2020-0001
Applicant: Jonah Weiss of PCS Group Inc.
Location: North of US Highway 34 Business, east of 10th Street, west of 95th Avenue
Presenter: Brittany Hathaway, Planner II

V. A public hearing to consider a request for a Preliminary PUD (Planned Unit Development) for approximately 295 acres of property

Project Name: Lake Bluff PUD
Case No.: PUD2018-0010
Applicant: Jonah Weiss of PCS Group Inc.
Location: North of US Highway 34 Business, east of 10th Street, west of 95th Avenue
Presenter: Brittany Hathaway, Planner II

VI. Staff Report

VII. Adjournment to Worksession – Oil & Gas 101

PLANNING COMMISSION HEARING DATES:

All hearings are held on the 2nd and 4th Tuesdays of the month at 1:15 p.m. at City Center South, 1001 11th Avenue, Greeley, Colorado. Agendas are posted at <http://greeleygov.com/government/b-c/boards-and-commissions/planning>.

February 25, 2020

March 10, 2020

March 24, 2020

April 14, 2020

April 28, 2020

May 12, 2020

May 26, 2020

June 9, 2020

June 23, 2020

July 14, 2020



PLANNING COMMISSION

Proceedings

January 14, 2020

**City Center South
1001 11th Avenue
1:15 p.m.**

I. Call to Order

Chair Yeater called the meeting to order at 1:15 p.m. Commissioners Schulte, Andersen, Briscoe, Franzen, Modlin and Romulo were present.

II. Approval of minutes for meeting held on November 12, 2019

Commissioner Andersen noted a misspelling of Ron Redfern's name in the minutes. With that correction, Commissioner Andersen moved to approve minutes of the meeting held on November 12, 2019. Commissioner Franzen seconded the motion. Motion carried 7-0.

III. Election of Chair

Commissioner Andersen moved to nominate Justin Yeater to serve as Chair of the Planning Commission for 2020. Commissioner Franzen seconded the motion. The motion carried 7-0.

IV. Election of Vice Chair

Commissioner Modlin moved to nominate Erik Briscoe to serve as Vice Chair of the Planning Commission for 2020. Commissioner Franzen seconded the motion. Motion carried 7-0.

V. A public hearing to consider a request to rezone a 4.22-acre tract from R-M (Residential Medium Density) to R-H (Residential High Density) with a DCMP (Development Concept Master Plan) and a 1.87-acre tract from R-L (Residential Low Density) to R-M (Residential Medium Density)

Project Name: Park Crossing Rezone
Case No.: ZON2019-0014
Applicant: Drayson Bowman, Colson Development
Location: West of 47th Avenue, east of 49th Avenue Court, north of 25th Street and south of 24th Street
Presenter: Brittany Hathaway, Planner II

Brittany Hathaway addressed the Commission and entered the staff report and presentation into the record. She described the rezone request to rezone two tracts that would allow for a townhome development on the subject site. Ms. Hathaway noted that the Residential High Density (R-H) tract would have a Development Concept Master Plan (DCMP) to ensure the least amount of impact to the surrounding neighborhood.

Ms. Hathaway presented a map and aerial photo and described the sites and surrounding areas. She also presented photographs of the site. Ms. Hathaway then provided a description of the DCMP and accompanying restrictions that were included in response to concerns expressed during a neighborhood meeting in October. She noted that the DCMP helps to alleviate concerns by restricting uses to single-family detached or attached dwellings, requires an HOA to maintain exteriors and landscaping, and ensures adequate parking and pedestrian routes throughout the project.

Ms. Hathaway provided an overview of the rezone criteria and indicated which portion had been met by this proposal. She elaborated on portions of the criteria and the rationale for a recommendation of approval.

Upon question by Commissioner Schulte, Ms. Hathaway reported that the zoning prior to 2015 was Residential Medium Density (R-M).

Mark Bowman, speaking on behalf of Colson Development, 916 Barnyard Drive, Windsor, Colorado, addressed the Commission. Mr. Bowman presented a rendering of what the completed subdivision might look like. He described the placement of the dwellings and noted that each unit would include a 2-car oversized garage.

Chair Yeater opened the public hearing at 1:26 p.m.

Betty Carwin, 2421 49th Avenue Court, addressed the Commission and asked why the parcel being rezone from R-L to R-M had not been included in the DCMP. She noted the heavy commercial along 47th and added that it was their understanding that the zoning would be R-L. She expressed concern that the area could soon be rezoned to Residential High Density (R-L).

Gary Carwin, 2421 49th Avenue Court stated that his review of the map showed that some of the property zoned R-L would be rezoned to R-H. He also asked why 48th Avenue would become narrower.

Richard Stephens, 2357 50th Avenue stated that he moved to Greeley seven years ago to retire. He pointed out that he has been to Planning Commission on four occasions during that time regarding rezone requests. He expressed concern that a rezone would tear up the roads. Mr. Stephens reported being told that there would be a row of trees and a berm between the Subaru auto dealership and homes but it did not happen. He added that people who do not live in the area are making decisions that affect those who do. He suggested placing speed bumps along 50th Avenue and added that the neighborhood was originally built for a retirement community. Mr. Stephens was also concerned about the number of vehicles in an R-H area.

Sueann Swetzig, 2481 49th Avenue Court reported that she likes the idea of townhomes and felt they were a good addition to the vacant lot. She expressed concern about parking and suggested that guest parking be added to the plan. Ms. Swetzig was also concerned about increased traffic.

The public hearing was closed at 1:36 p.m.

Ms. Hathaway returned to the podium to respond to some of the questions raised during the public hearing. She reported that since the R-L portion that will be rezoned to R-M allows for four units, which the developer is proposing, there is no requirement for a DCMP for that tract. Noting the four attached buildings on west side, Commissioner Briscoe asked whether that area would be rezoned R-M. Ms. Hathaway confirmed that to be the case. She added that the eastern half would allow for ten attached buildings, requiring the rezone to R-H. Ms. Hathaway added that the alleyway will be a private alley and that comments on street width would be addressed during first review. Ms. Hathaway noted that staff has considered guest parking. Chair Yeater asked whether parking would be allowed along 49th Avenue Court, adding that he would not like to see parking on the street for this or any other development in the City.

Chair Yeater observed that there seemed to be concerns about promises made with a prior developer. He asked Ms. Hathaway to advise those in attendance how they can express those concerns. Ms. Hathaway stated that she could be contacted directly and would be happy to discuss concerns or forward those to the appropriate City department. Commissioner Schulte confirmed that this is an approval of the rezone, not any conceptual plans. Upon further question by Commissioner Schulte, Ms. Hathaway reported that the driveways for both the townhomes and single-family dwellings would be large enough to park two cars side by side.

Ms. Hathaway stated that a traffic study was submitted and did not warrant any improvements. Commissioner Schulte noted that when visiting friends in similar areas, guest parking was always appreciated. Commissioner Romulo asked whether a rezone to R-H would allow for more houses per area than what is displayed in the example. Ms. Hathaway responded that it was possible since the DCMP allows for single-family attached and single-family detached dwellings. She provided a description of what is allowed under the DCMP. Commissioner Romulo expressed a desire to discourage or not

allow parking outside of this area. Ms. Hathaway reported that parking controls would likely be handled by the HOA.

Mark Bowman returned to the podium and acknowledged the citizen concerns expressed during the public hearing. He stated that the applicant has made every effort to create four parking spots per unit. He also described the placement of homes, adding that units with courtyards were a better presentation toward the homes across the street. Mr. Bowman noted that the 2-story units would help screen the Subaru dealership and that this development would help to correct what was not done previously. He added that the building height of the homes would also provide screening. Mr. Bowman stated that all required landscaping would be installed. He noted a need for entry-level housing in Greeley and believed that this development would accomplish that. Upon question by Commissioner Schulte, Mr. Bowman confirmed that if plans were modified to include guest parking, it would reduce the number of dwelling units. Mr. Bowman added that in his experience, when guest parking is provided, residents stop parking in their own driveway and fill up guest parking with additional vehicles. It was his intent that by providing four parking spaces, it would encourage residents to use their own garages and driveways for parking.

Commissioners Franzen and Andersen stated that due to the nature of this hearing, they did not have further comments at this time.

Commissioner Andersen moved that, based on the application received and the preceding analysis, the Planning Commission finds that the proposed rezoning from R-M (Residential Medium Density) to R-H (Residential High Density) with a DCMP (Development Concept Master Plan) and from R-L (Residential Low Density) to R-M (Residential Medium Density) meets Development Code Section 18.30.050(c)(3) f, g and h; and, therefore, recommends approval of the rezone to the City Council. Commissioner Franzen seconded the motion.

Chair Yeater acknowledged that the Commission is not evaluating the plan at this time and added that Mr. Bowman had addressed many of the concerns expressed by citizens. He stated that he likes the plan and hopes that there is follow through on its development. Commissioner Andersen added that the plan provides a nice buffer between residential and commercial areas. Commissioner Modlin noted that most of the objections could be dealt with when plat comes before the Commission. Commissioner Briscoe observed that other developments in town have a similar idea and that there is a way to discourage on-street parking. Chair Yeater recognized the value of citizen input and invited everyone to return when the Commission held a hearing to evaluate the plan.

Motion carried 7-0.

VI. A public meeting to consider approval of a preliminary plat on a 72.604-acre site to create 29 single-family residential lots, one outlot for detention and utilities, and 8.943 acres of dedicated right-of-way

Project Name: Clark Subdivision Filing Number 2 Preliminary Plat
Case No.: SUB2019-0007
Applicant: Colin Geminden
Location: 14749 County Road 66
Presenter: Carol Kuhn, Chief Planner

Carol Kuhn addressed the Commission and entered the staff report and presentation into the record. Ms. Kuhn presented a map showing the location of the site and stated that the applicant is requesting approval of a preliminary plat to create 29 single-family residential lots, outlots, and acreage of dedicated right-of-way. She provided an aerial photograph of the property and described the surrounding land uses.

Ms. Kuhn provided an overview of the project beginning in 2018 in was rezoned from Industrial Low Intensity to Residential Estate and included a DCMP. She also presented photographs of the site as well as the proposed preliminary plat. She noted that the applicant proposes to utilize the existing topography for placement of dwelling units and the detention pond.

Ms. Kuhn described the standards for approval of a preliminary plat and how the applicant proposed to meet the standards. She referenced the DCMP that was approved with the rezone application, noting that the minimum lot size of two acres would allow additional onsite area for septic systems. Staff evaluated the proposal and recommended approval.

Commissioner Schulte asked for clarification about the difference between Residential Estate (R-E) and R-L zoning. Ms. Kuhn advised that the lots in the R-E zone district are larger. She discussed the rationale for large lot sizes in this subdivision that would allow adequate space for septic systems and a leach field. Chair Yeater questioned whether traffic problems would be created by the placement of the subdivision entrance off County Road 31 rather than County Road 66. Ms. Kuhn stated that a representative from engineering could better respond. Commissioner Modlin asked whether there were any guidelines to address water usage for landscaping on the larger lots and common areas. Ms. Kuhn advised that there would be limitations precluding huge turf grass areas. She added that landscaping would be addressed in the HOA covenants rather than be governed on the plat. The applicant will address water limitations and landscaping in the HOA Covenants. Commissioner Franzen noted the property boundary appears to run with a gas line and asked whether there were any setback concerns. Ms. Kuhn stated that the gas line was placed within an easement that will be shown on the final plat.

Yeater asked for a representative from engineering to speak to the placement of the subdivision entrance. Thomas Gilbert with Engineering Development Review addressed the Commission. Chair Yeater asked whether engineering had any concerns with how Whispering Rock Road meets up with CR 31. Mr. Gilbert reported that because of the low density zoning, engineering did not have any concerns.

The applicant, Colin Geminden, 409 Edgewood Avenue, Johnstown, Colorado addressed the Commission and introduced Bill Hughes, attorney for the owner, Craig Sparrow. Mr. Geminden referenced the change of zone from I-L to R-E in 2018 and noted that from a traffic standpoint, traffic generated by I-L was significantly greater than R-E. He pointed out the low number of 2-acre lots in the subdivision and noted that from a traffic standpoint, there was no concern about access off County Road 31. He added that the subdivision would be required to have two access points. Mr. Geminden presented a rendering of the landscape buffer proposed for the west side of the property. He also presented examples of farm sculptures that will be scattered around the pocket park and other areas. He stated that North Weld County Water would provide infrastructure that could be tied in with City infrastructure in the future.

Bill Hughes, 5587 West 19th Street, Greeley, introduced himself as the attorney representing the property owner. He noted the owner's desire that the project be compatible with the surrounding area. He stated that the owner is working with the Eaton school district on a cash-in-lieu program. Mr. Hughes also noted that all of the oil and gas wells on the property have been abandoned and capped. He stated that this would be a great development good for commuting to work and other communities in northern Colorado.

Commissioner Modlin asked whether there would be access to non-potable water for irrigation. Mr. Geminden reported that the owner is working out an agreement with North Weld County Water to determine whether potable or not-pot would be used. Upon further question by Commissioner Modlin, Mr. Geminden stated that there would be access to non-potable water. Mr. Hughes added that non-potable water would be used for irrigation. Commissioner Franzen commended the application for the plan.

Commissioner Briscoe moved that, based on the application received and the preceding analysis, the Planning Commission finds that the Clark Subdivision Filing Number 2 Preliminary Plat is in compliance with the provisions of the Subdivision Regulations and Development Code criteria outlined in Section 18.04.440(d) 1-3 as well as the approved Development Concept Master Plan; and, therefore, approves the requested preliminary plat as presented. Commissioner Andersen seconded the motion.

Commissioner Schulte noted that while it has been pointed out that there is a lack of affordable housing in Greeley, there is also a lack of higher end housing. He stated that this is a good step in providing a broader mix to maintain positive economic growth for Greeley.

Motion carried 7-0.

VII. A public hearing to consider an amendment to the City of Greeley Municipal Code Chapter 18.54 - Signs

Case No.: CU2019-0001
Applicant: City of Greeley
Presenter: Brittany Hathaway, Planner II

Brittany Hathaway addressed the Commission and entered the staff report and presentation into the record. She advised that the purpose of the hearing was to discuss proposed amendments to Chapter 18.54 of the Municipal Code as it pertains to signs.

Ms. Hathaway provided a brief background of the sign code, stating that it was originally adopted in 1958. She presented photographs from the 1920s and 1950s depicting a proliferation of signage along 8th Avenue. Ms. Hathaway reported that since the 1950s, the sign code has evolved, with the last major update taking place in 2010.

Ms. Hathaway reported that in 2015, the U.S. Supreme Court decided in *Reed v. Gilbert* that content-based laws were unconstitutional. The ruling only effects non-commercial speech at this time. The proposed amendment to the sign code would remove all content-based language to ensure that a citizen's free speech is not violated. Ms. Hathaway provided a brief description of the proposed changes and how signs will be reclassified. She also outlined the cumulative square footage of signage that will be allowed on a parcel of property. The amendment will also serve to clean up some obsolete language. Staff recommended approval of the proposed amendment.

Upon question by Commissioner Schulte, Ms. Hathaway advised that there have been no substantial changes to the proposed amendment since the prior worksession. Commissioner Franzen, who was not part of the worksession, asked about the current process for signs. Ms. Hathaway highlighted main types of signs impacted by this amendment. Upon question by Commissioner Franzen, Ms. Hathaway reported that the types of signs are temporary and do not require a permit. Community Development Director, Brad Mueller, clarified that temporary commercial signs still require a permit. Commissioner Schulte asked whether any complaints had been received along the lines of what sparked the *Gilbert* lawsuit. Ms. Hathaway reported that no complaints had been received; staff is attempting to get out ahead of the change.

Chair Yeater opened the public hearing at 2:19 p.m. There being no comment, the public hearing was closed at 2:19 p.m.

Commissioner Andersen moved that, based on the summary, attachments and accompanying staff analysis, the Planning Commission finds that the proposed amendments to the City of Greeley Development Code, Chapter 18.54, are necessary and appropriate to align with federal regulation, and recommends approval to City Council. Commissioner Schulte seconded the motion. Motion carried 7-0.

VIII. A public hearing to consider an alternative compliance request to allow townhome building envelopes to have zero setbacks from each unit on Lots 1-6 (Outlot J) and Lots 11-24 (Outlot K)

Project Name: City Center West Residential Subdivision, 2nd Filing, Alternative Compliance
Case No.: ALT2019-0007
Applicant: City Center West LP
Location: South of 4th Street, east of 71st Avenue, north of 8th Street, west of Sheep Draw
Presenter: Marian Duran, Planner II

Marian Duran addressed the Commission and provided a brief description of the term “alternative compliance” as written in the Development Code. She emphasized that the proposal is not a request to modify or reduce compliance. Ms. Duran presented a map showing the location of the site and pointed out the City Center West residential subdivision. She reminded the Commission that the preliminary plat was approved December 11, 2018 and that approval of the preliminary subdivision did not require a public hearing, but did require Planning Commission approval. She added that the final plat has been in review since April 2019. Ms. Duran stated that that what were called Lots 2 and 3 in the preliminary plat are now called Lots 1-6 and Lots 11-24, respectively, in the final plat. Alternative compliance is requested for these lots.

Ms. Duran described the structures to be constructed in clusters of 4-plexes and 6-plexes as well as the proposed setbacks. She also described sizes of the various lots in the subdivision, adding that the subdivision will be different from nearby Summer Park, a condominium air space model. In the proposed plan, individuals will own the dwelling unit as well as the land beneath it. She added that this product would provide an affordable product for home buyers and surrounding open space and amenities. Because this design does not fit into the constraints of current zoning standards, the plan allows for the dwelling units to be attached. The Development Code indicates that building envelopes must be separated.

Ms. Duran presented several photographs of the site. She stated that staff had reviewed the proposal and determined that alternative compliance fits into the context of this area and meets Comprehensive Plan objectives. She added that letters of the hearing were sent to owners within 500 feet of the site and signs were posted at the site. To date, only two calls were received requesting additional information about the project. Staff recommended approval.

Upon question by Commissioner Schulte, Ms. Duran confirmed that units in the building envelopes would share a common wall and that the only separation is between each building grouping. Commissioner Schulte also asked what concessions the developer was giving to go the alternative compliance route. Ms. Duran advised that the developer would dedicate 6.05 acres for a park, including a pocket park and tot lot, a large portion of open space, trail system, and a significant amount of landscaping and other amenities. Staff felt that the developer is adding more than is required per Code. Commissioner Schulte asked

whether the street side setback would remain the same and Ms. Duran confirmed that it would. Mr. Mueller interjected that it was important to understand that the townhomes could be designed the same as condominiums, but the desire is to sell the land underneath. Commissioner Modlin asked whether there would be a need to increase the water requirement for townhomes. Ms. Duran stated that the townhomes would reduce the cost of parkland dedication fees. Upon question by Commissioner Modlin, Ms. Duran reported that eventually non-potable water would be used to water landscaping. Commissioner Briscoe asked whether a homeowner's association would be proposed. Ms. Duran indicated that the same association that is governing the single-family dwellings to the south would take care of this area.

Patrick McMeekin, Vice President of Land Development for Hartford Homes, addressed the Commission, stating that he was available to answer any questions. Commissioner Modlin asked whether there were higher density apartments on the property. Mr. McMeekin responded that there are no higher density units on this lot, adding that the alternative compliance being sought today is for the townhome piece.

Chair Yeater opened the public hearing at 2:36 p.m.

Roger Booker, 6914 West 3rd Street, Unit 24, addressed the Commission and commended Ms. Duran and her professionalism when she met with him earlier in the week to describe the proposal. Mr. Booker stated that he looked at the plans and provided observations and comments. He expressed his opinion that the rows of buildings on the plans appeared to be tall, bland and unattractive, and hoped that steps would be taken to enhance the building elevations. Mr. Booker noted that there seemed to be minimal visitor parking or parking for the proposed park. He also expressed concern about the potential for traffic congestion near 69th Avenue. He stated that the residents of Summer Park had not had an opportunity to gather and talk about the proposal and indicated that it would be nice if they could provide comments to the Commission.

Molly Holloway, 6608 West 3rd Street, addressed the Commission and stated that she is new to Colorado and asked for clarification about some of the terms used during the presentation. She asked what is meant by "entry level" housing and asked about the price range for the units. She expressed the opinion that it appeared to be a lot of housing and people put into a small space. She asked the Commission to consider reducing the amount of housing units. She also asked whether there would be a swimming pool or clubhouse and asked whether students would walk through her subdivision to get to school.

Pat (last name unintelligible), 6914 West 3rd Street, stated that she was glad to see the view of the former Hewlett-Packard building covered by something. She also expressed concern about the increased traffic and asked about the entry level price for the units.

The public hearing was closed at 2:43 p.m.

Ms. Duran returned to the podium to answer questions raised during the public hearing. Chair Yeater asked her to address what is deemed as affordable housing. Ms. Duran reported that would be somewhere in the range under the current market values between \$200,000 and \$300,000.

Mr. McMeekin added that the target base price for the townhomes is in the high \$200,000 area, with single-family around \$350,000 to \$375,000. Commissioner Modlin asked how many building elevations there are for the townhomes. Mr. McMeekin stated that they are still developing those elevations, and will have six elevations for the single-family dwellings. Commissioner Yeater asked whether traffic or occupancy would change whether the units were townhomes or condominiums and Mr. McMeekin confirmed that they would not.

Commissioner Andersen moved that, based on the application received and the preceding project summary and analysis, the Planning Commission finds that the Alternative Compliance request by City Center West LP to allow townhome building envelopes to have zero foot setbacks from each townhome unit on Lots 1-6 (Outlot J) and Lots 11-24 (Outlot K) within City Center West Residential Subdivision, 2nd Filing, Final Plat, complies with Development Code Section 18.48.140, Items (b)(5) and (h)(2); and, therefore, approves the request as presented. Commissioner Modlin seconded the motion.

Commissioner Schulte commented for those present that the entire Greeley Municipal Code is online and contains a lot of information that might help answer their questions. He added that staff is always available to respond to questions from the public. Commissioner Franzen noted that provides a creative approach to Greeley's housing alternatives and opens door to buyers who may not be eligible to other housing options. Commissioner Romulo added that the Greeley Master Plan is also available online for citizens. Chair Yeater commended the applicant for the creativity of this plan.

Motion carried 7-0.

IX. Staff Report

Brad Mueller addressed the Commission and introduced new staff: Randy Mahaffey, Engineering Technician, Danielle Davis, Planning Technician and Colby Zander, Code Compliance Supervisor. Mr. Mueller provided a brief update of upcoming projects for 2020. He asked Mike Garrott, Planning Manager, to run through some of the work program items for the Planning division. Mr. Garrott added what Planning Commission trainings would continue through 2020.

X. Adjournment

The meeting was adjourned at 3:08 p.m.

Justin Yeater, Chair

Brad Mueller, Secretary

PLANNING COMMISSION SUMMARY

ITEM: Rezone property from R-M (Residential Medium Density) to R-H (Residential High Density)

FILE NUMBER: ZON2018-0014

PROJECT: Regalado Rezone

LOCATION: 1913 5th Street

APPLICANT: Mark Taylor, on behalf of Jose Regalado

CASE PLANNER: Kira Stoller, Planner I

PLANNING COMMISSION HEARING DATE: February 11, 2020

PLANNING COMMISSION FUNCTION:

The Planning Commission shall consider the staff report, along with testimony and comments made by the applicant and the public and shall then make a recommendation to the City Council regarding the application in the form of a finding based on the review criteria in Section 18.30.050(c)(3).

EXECUTIVE SUMMARY

The City of Greeley is considering a request to rezone 2.77 acres of land from R-M (Residential Medium Density) to R-H (Residential High Density). The subject site is located north of 5th Street, south of 4th Street, east of 21st Avenue and west of the Mobile Estates mobile home park (*See Attachment A – Vicinity Map and Attachment B – Narrative*). If the rezone request is approved, the applicant intends to combine the three neighboring lots into one parcel through a minor subdivision process, for the purpose of developing the site with multi-family housing.

A. REQUEST

The applicant is requesting approval to rezone 2.77 acres of land from the R-M (Residential Medium Density) zone district to the R-H (Residential High Density) zone district.

B. STAFF RECOMMENDATION

Approval

C. LOCATION

Abutting Zoning:

North: R-M (Residential Medium Density)

South: R-M (Residential Medium Density)

East: RMH (Residential Mobile Home)
West: R-M (Residential Medium Density)

Surrounding Land Uses:

North: Residential (mixture of single-family and duplexes)
South: Single-family residential
East: Mobile home park (Mobile Estates)
West: Residential (mixture of single-family and duplexes)

Site Characteristics:

The subject site is approximately 2.77 acres in size and includes three (3) parcels, within the Union Colony Lands Subdivision (*see Attachment C – Property Boundary Map*). The area is located north of 5th Street, south of 4th Street, east of 21st Avenue and west of the Mobile Estates mobile home park. The subject site is currently vacant, but there are existing utilities in the area (*see Attachment D – Site Analysis Map*).

D. BACKGROUND

The subject site was annexed into the City in 1961 and was originally zoned R-2. The R-2 zoning classification was utilized prior to adoption of the 1998 Development Code and is equivalent to the current R-M (Residential Medium Density) zoning designation, which now applies to the property.

The southern parcel previously contained a single-family home, however, the structure was demolished in 2014 after a fire occurred on the property. The northern two (2) parcels were not previously developed, but were utilized in association with the single-family home. The subject site is classified as an infill property and is located within the Redevelopment District.

If the rezone request is approved, the applicant plans to develop the site with five (5) two-story apartment buildings. Each of the five (5) buildings would contain ten (10) units, for a total of 50 dwelling units. This amounts to an overall density of 18.05 units per acre. The site would have access points on both 4th and 5th Street with the proposed structures and parking all situated on the northern two (2) lots (*see Attachment E – Zoning Suitability Map*). The applicant would still be required to submit an application for a minor subdivision to combine the lots and a site plan review in order to develop the subject site with multi-family housing.

E. APPROVAL CRITERIA

Development Code Section 18.30.050 Rezoning Procedures

For the purpose of establishing and maintaining sound, stable and desirable development within the City, the rezoning of land is to be discouraged and allowed only under circumstances provided for in this Section [of the Code]. This policy is based on the opinion of the City Council that the City's zoning map is a result of a detailed and comprehensive appraisal of the City's present and future needs regarding land use allocation and other zoning considerations, and, as such, should not be amended unless to correct manifest errors or because of changed or changing conditions

in a particular area of the City in general.

The review criteria found in Section 18.30.050(c)(3) of the Development Code shall be used to evaluate the zoning amendment application.

- a) **Has the area changed, or is it changing to such a degree that it is in the public interest to rezone the subject property to encourage development or redevelopment of the area?**

Staff Comment: The area surrounding the subject site has not changed substantially in the recent past, because it was previously built out. However, because the subject site is located within the Redevelopment District, improvement within the area is encouraged. Rezoning the property to R-H (Residential High Density) may bring about development of this site in a shorter timeframe than if the property maintains the R-M (Residential Medium Density) zoning designation, because there is currently a greater demand for apartments. Additionally, having a variety of housing types within the Redevelopment District is desirable and development of this high density project would help to enhance the mixture of residential units in the area.

The proposal complies with this criterion.

- b) **Has the existing zoning been in place for at least fifteen (15) years without substantial development resulting and does the existing zoning appear to be obsolete, given development trends?**

Staff Comment: The subject site has been zoned R-M (Residential Medium Density) for well over 15 years. There has been no change to the southern property since the single-family home was demolished about 6 years ago. The northern two (2) parcels have never been developed, but were utilized in association with the single-family home. While the existing zoning does not appear to be obsolete, development trends seem to currently favor multi-family over single-family projects. Furthermore, revitalizing this property within the Redevelopment District with a high density project, helps promote the city's overall viability in the future.

The proposal complies with this criterion.

- c) **Are there clerical or technical errors to correct?**

Staff Comment: There are no clerical or technical errors to correct.

This criterion is not applicable to this request.

- d) Are there detrimental environmental impacts, such as flood plains, inadequate drainage, slopes, unstable soils, etc., that may affect future development of this site and which may not have been considered during the original zoning of the property?**

Staff Comment: The site does not contain any known detrimental environmental conditions.

This criterion is not applicable to this request.

- e) Is the proposed rezoning necessary in order to provide land for a community related use, which was not anticipated at the time of adoption of the City's Comprehensive Plan; or have the policies of the City changed to the extent that a rezoning is warranted?**

Staff Comment: In 2019, the City adopted a five-year housing goal after identifying a shortage of living units within the community. This goal includes constructing 2,042 new multi-family units by 2024. While the proposed rezoning is not necessary to provide land for a previously unanticipated community related use, the proposed development would directly support the 2019 Strategic Housing Plan by improving the city's overall housing mix.

The proposal complies with this criterion.

- f) What is the potential impact of the proposed rezoning upon the immediate neighborhood and the city as a whole (including potential noise and environmental impacts, visual impacts, the provision of City services such as police, fire, water, sewer, and pedestrian systems and parks and recreational facilities)?**

Staff Comment: Approving the proposed rezone, would likely increase the density of the area, because the subject site currently only allows for single-family, two-family, or townhouse dwelling units. There are adequate public facilities in place to service a multi-family development on the property and building out this vacant land could help revitalize the neighborhood. The City has not yet received a corresponding site plan application for the property, but any future projects would be required to evaluate the potential impacts on the surrounding area.

The proposal complies with this criterion.

- g) Is there clear and convincing evidence that the proposed rezoning will be consistent with the policies and goals of the City's Comprehensive Plan and comply with the applicable zoning overlay requirements?**

The following City of Greeley Comprehensive Plan objectives apply to this request:

- ***GC-1.2 – Form of Growth*** – Encourage a compact urban form over sprawl or leap-frog development.
- ***GC-2.2 – Jobs/Housing Balance*** – Support zoning and development patterns that expand opportunities for people who live in Greeley to also work in Greeley (or vice versa).
- ***GC-4.1 – Priority Infill/Redevelopment Areas*** – Support infill development and redevelopment in priority locations, such as designated redevelopment and urban renewal areas.
- ***HO-2.2 – Rental Housing*** - Foster the development of attractive, safe, and well-maintained rental properties for those who do not qualify for or desire to own property.

Staff Comment: The proposed rezone supports redevelopment and infill development, rather than sprawl, which provides the opportunity to reduce the community's housing shortage by supplying additional residential units. This directly aligns with the preceding Comprehensive Plan objectives, as well as the 2019 Strategic Housing Plan.

The proposal complies with this criterion.

h) What is the potential impact of the proposed rezoning upon an approved Zoning Suitability Plan for the property?

Staff Summary: There is no previously approved Zoning Suitability Plan for this property.

This criterion is not applicable to this request.

F. PHYSICAL SITE CHARACTERISTICS

1. SUBDIVISION HISTORY

The subject site is part of the Union Colony Lands Subdivision (Rec # 39743). The area was also part of the North Greeley Annexation, which was approved on October 31, 1961 (Rec # 1368933).

2. HAZARDS

Staff is unaware of any potential hazards that presently exist on the site.

3. WILDLIFE

The site is not located in an area of ecological significance.

4. FLOODPLAIN

The property is not located within any flood zones.

5. DRAINAGE AND EROSION

There are no concerns with drainage and/or erosion on the subject site.

6. TRANSPORTATION

The subject site would be accessible from either 4th or 5th Street. Currently, 4th Street dead ends north of the subject site, but development of the site would require extending the roadway to 21st Avenue. The two proposed access points would be connected by a private internal drive, which would include neighboring sidewalks to promote pedestrian accessibility. Additionally, there are several GET (Greeley-Evans Transit) bus stops within less than a half mile of the site (on 2nd Street at 18th Avenue and 21st Avenue Place, as well as on 9th Street at 18th Avenue and 21st Avenue).

It is estimated that rezoning the subject site to R-H (Residential High Density) and constructing a total of 50 dwelling units would result in an average of 330 vehicle trips per day. If the site were to develop under the current R-M (Residential Medium Density) zoning, the estimated average vehicle trip numbers would be either 153 (for 16 single-family dwellings) or 209 (for 36 townhome dwellings). Because the property is currently vacant, any level of development would result in additional traffic, however, it is not anticipated that the proposed rezone would result in a significant impact to the existing level of service for the neighboring roadways.

G. SERVICES

1. WATER

Water services are available in the area and can adequately serve the subject site.

2. SANITARY SEWER

Sanitation services are available via the existing sewer main in 5th Street and can adequately serve the subject site.

3. EMERGENCY SERVICES

The subject site is within the adequate response area of Greeley Fire Station #1 (1.4 miles away) and is within the police department's service area.

4. PARK/OPEN SPACES

No parks or regional open space areas are proposed with this rezone, however, the required stormwater detention pond could provide useable open space for the residents. Upon submittal of the site plan review and minor subdivision projects, the required parkland dedication or cash-in-lieu fee payment would need to be calculated for the proposed development.

5. SCHOOLS

No schools are proposed or located within the subject area. The schools that currently serve the area are Billie Martinez Elementary (0.5 miles away), Franklin Middle School

(1.7 miles away) and Northridge High School (4.7 miles away). The City does not currently have a cash-in-lieu requirement for school dedication.

H. NEIGHBORHOOD IMPACTS

1. VISUAL

Rezoning the property to allow for multi-family housing has the potential to result in a visual change to the subject site, based on the fact that it is currently vacant. During the site plan review process, architectural compatibility, as well as visual impacts, will be evaluated and minimized.

2. NOISE

Any noise created by future development of the subject site would be regulated by the Municipal Code.

I. PUBLIC NOTICE AND COMMENT

Notice letters were mailed to surrounding property owners on January 24, 2020, per Development Code requirements. Additionally, public notice signs were posted on the subject site on January 28, 2020. No comments have been received to date, February 5, 2020.

J. MINERAL ESTATE OWNER NOTIFICATION

Mineral notice is not required for a rezone request.

K. PLANNING COMMISSION RECOMMENDED MOTION

Based on the application received and preceding analysis, the Planning Commission finds that the proposed rezoning from R-M (Residential Medium Density) to R-H (Residential High Density) meets the applicable Development Code criteria, Sections 18.30.050(c)(3) a, b, e, f and g; and therefore, recommends approval of the rezone to the City Council.

L. ATTACHMENTS

Attachment A – Vicinity Map
Attachment B – Narrative
Attachment C – Property Boundary Map
Attachment D – Site Analysis Map
Attachment E – Zoning Suitability Map

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Vicinity Map





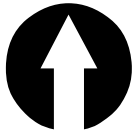
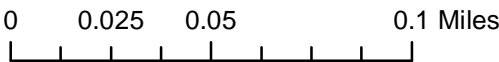
Attachment A



ZON2018-0014
Regalado Rezone

Legend

-  Subject Site
-  Parcels



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Rezone Narrative

Mr. Regalado has initiated a rezoning of his property at 1913 5th Street with the intention of developing multi-family apartments. The rezoning request will change the current Residential Medium (R-M) zoning to Residential High (R-H) to accommodate up to 50 dwelling units. Mr. Regalado has been invested in the neighborhood for many years with an office building he constructed at 229 3rd Street for his business, and a commercial development he is doing just east of 9th Avenue from the office. Mr. Regalado would like to continue investing in area and sees a demand for rental housing in Greeley. He has owned the property at 1913 5th Street for 6 years, during which he has watched market trends and considered what would work best in the area carefully.

The subject property was purchased by Mr. Regalado in 2013. At that time there was a single-family house occupying the southern third of the east half of the subject property, parcel A, that was demolished shortly after the purchase. The house was condemned due to an act of arson and had to be removed for public safety. A majority of the property area, parcels B & C, is open undeveloped land and has been that way since records were kept of the area. Upon approval of the rezoning request the three parcels will be aggregated into one lot for the planned development.

The adjacent properties to the north, west, and south are currently zoned R-M. To the east is Residential Mobile Home (RMH) zoning. Within a half-mile to one mile of the subject property the current zoning is generally Residential Low (R-L) to the northwest, R-M to the southeast, with pockets of R-H to the north and west, and Commercial-Low (C-L) to the east.

The subject property is within a historic area of the City with direct access to existing road and utility infrastructure. A potable water main will be needed through the property connecting the existing mains in 4th & 5th Street, and an on-site sanitary sewer main will be connected to the existing sewer main in 5th Street to accommodate development. On-site stormwater pipes will convey runoff to a detention pond that will release into 5th Street. A private irrigation lateral runs along the northern property line which will be preserved and incorporated into the site design.

The proposed use is similar to existing land uses in the immediate area, and the proposed development will fit in without overwhelming existing infrastructure and public services. There are three public parks; Jimmy's Pocket Park, Swanson-Kiwanis Park and Luther Park, within 5 blocks of the subject property, and Island Grove is less than a mile away. There are three public schools within a mile; Billie Martinez Elementary, Madison Elementary and Maplewood Elementary. The Boys & Girls Club has a facility adjacent to the closest school, Madison Elementary, approximately 6 blocks west of the subject property. Jerry's Market is located on 14th Avenue and 5th Street, six blocks east of the subject property. There are several bus stops between 14th Avenue and 23rd Avenue on 2nd Street including at 18th Avenue and 21st Avenue Place, and on 9th Street at 18th Avenue and 21st Avenue. All the amenities in the area are connected via existing sidewalks and roads. Planned improvements for the property will connect to the existing sidewalks on 4th Street and 5th Street with an internal private drive and sidewalk network.

Mr. Regalado is planning to develop the site with (5) 10-unit apartment buildings. The buildings will be two stories with an approximate footprint of 70' x 73'. The site as laid out in the Zoning Suitability Map, has approximately 31% open space. A portion of the open space will contain the required stormwater detention pond. Per municipal code section 18.38.020(l.6), up to 75% of the detention pond can be counted as open space. Sidewalks will be incorporated within the development, connecting the buildings and parking lots to the existing public walkways on 4th Street and 5th Street. Two access points are proposed for the site with, an access at both the north and south ends of the property connected by a private internal drive. The site is not located in a published or proposed floodplain and there are no major irrigation ditches within the vicinity.

The property is in the Redevelopment District which is an important part of the Imagine Greeley Comprehensive Plan (IGCP). As such the property is in an area designated by the IGCP as being favorable for redevelopment to fit the ever growing and expanding City. According to the IGCP, the goal is to revitalize properties within the Redevelopment District boundaries to help promote the regrowth, balanced, purposeful, safe place and value to the City. The subject property is in a developed neighborhood with a mixture of apartments, duplex units, mobile homes, and single-family residences. Newer developments in the area have required R-H zoning to allow for the smaller infill lots to be developed economically. There is also a greater demand for apartments in the current market than has been experienced in the past due to a steady increase in population throughout Northern Colorado. There is access to schools, parks, businesses, churches, transit services, commercial retail and other services in the immediate area around the property. A multi-family development on the subject property would blend in well with the surrounding area and is spaced far enough from other multi-family apartment complexes to not over densify the neighborhood.

Goal GC-1: Manage growth effectively.

Objective GC-1.2 Form of Growth:

Encourage a compact urban form over sprawl or leap-frog development.

The surrounding area of this property is developed for residential use. The proposed rezoning will allow for a multi-family development

Goal GC-2: Promote a balanced mix and distribution of land uses.

Objective GC-2.2 Jobs/Housing Balance

With a shortage of rental housing in the area, the proposed development will provide an additional 50 dwelling units at an appropriate price to serve the population in an economically sensitive area of Greeley.

Objective GC-2.3 Pedestrian and Bicycle-Oriented Development

There are sidewalks and open areas for pedestrians, and bicycle parking will be included in the site plans. Sidewalks will be incorporated within the development to connect the buildings and parking lots to the existing sidewalks on 4th and 5th Streets. There are also public transportation stops within a few blocks of the property. This encourages walking and bicycling to and from employment, shopping, recreation, entertainment, transit, and other services in the area.

Objective GC-2.4 Mixed-Use and Transit-Supportive Development

The GET Regional Transportation Center (GET RTC) is just over one-mile walking distance via existing sidewalk networks away from the subject property. GET RTC provides access to all available bus transportation in the city. There are also several bus stops between 14th Avenue and 23rd Avenue on 2nd Street including at 18th Avenue and 21st Avenue Place, and on 9th Street at 18th Avenue and 21st Avenue. Just south of the GET RTC, on 11th Avenue & 2nd Street, is the Greeley headquarters of Youth for Christ. Youth for Christ is a non-profit organization that provides a public bike library, repair and donation service in the area to give residents an independent means of transportation.

Goal GC-4: Prioritize infill and redevelopment

Objective GC-4.3 Infill Compatibility

In addition to the entire development being new, there will be a playground and open space for additional activities to help enhance the desirability of the neighborhood. This site would be considered an infill project.

Goal GC-5: Facilitate the rebirth of Downtown Greeley as a regional multi-use activity area while preserving and promoting the cultural aspects of the area.

Objective GC-5.4 Residential Development

“Support the viability of Downtown neighborhoods by promoting housing rehabilitation, infill development, and neighborhood improvement projects. Aim to increase the overall residential density Downtown with a blend of home ownership and rental offerings.”

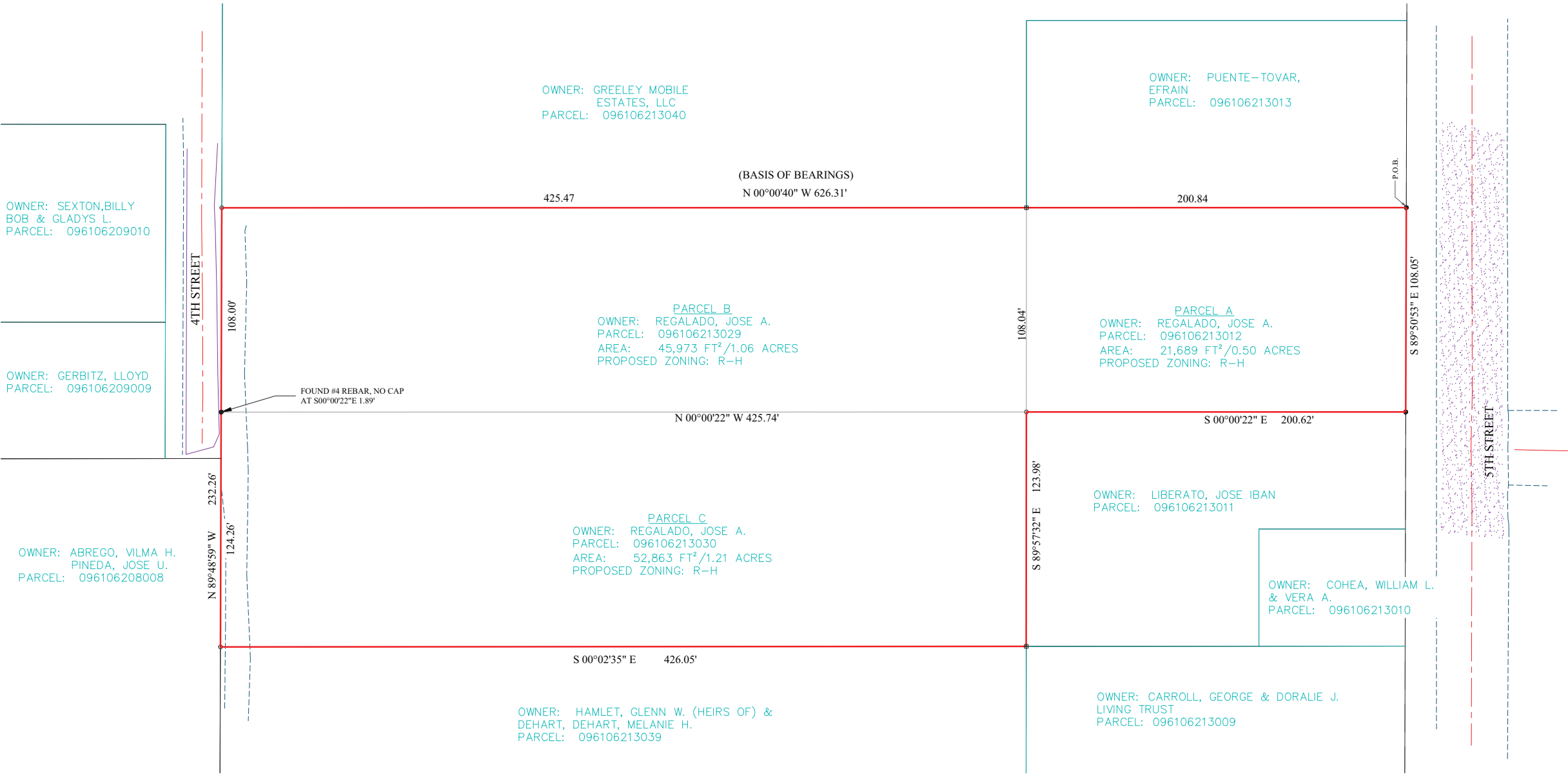
This development is an Infill development and falls within the guidelines aimed at encouraging development in the Redevelopment District along with the overall residential density and blend of housing available on the market.

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REGALADO APARTMENTS REZONE

PART OF LOTS 5 AND 6 OF UNION COLONY OF COLORADO LOCATED IN PART OF THE WEST HALF OF SECTION 6, TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO (PROPERTY BOUNDARY MAP)

Attachment C



LEGAL DESCRIPTION

PARCEL A

The East 108 feet of the South 200 feet of the West two-fifths (2/5) of Lot Numbered Six (6) of the Southeast Quarter (SE 1/4) of the Northwest Quarter (NW 1/4) of Section 6, Township 5 North, Range 65 West of the 6th P.M. in the City of Greeley, Weld County, Colorado, according to the subdivision of lands by the Union Colony of Colorado, Except the Right of Way for 5th Street.

PARCEL B

The East 108 feet of the North 430 feet of the West two-fifths (2/5) of Lot Numbered Six (6) of the Southeast Quarter (SE 1/4) of the Northwest Quarter (NW 1/4) of Section 6, Township 5 North, Range 65 West of the 6th P.M. in the City of Greeley, Weld County, Colorado, according to the subdivision of lands by the Union Colony of Colorado, Except the Right of Way for 4th Street.

Parcel C

All that parts of Lot 5 and Lot 6 according to the Map of the Union Colony Lands as recorded at Reception No. 39743, dated 17 April, 1891, being a part of the Southeast Quarter (SE. 1/4) of the Northwest Quarter (NW. 1/4) of Section 6, Township 5 North, Range 65 West of the Sixth Principal Meridian, City of Greeley, County of Weld, State of Colorado, being more particularly described as follows:

COMMENCING at the Southeast Corner of the East 108 feet of the South 200 feet of the West two-fifths of said Lot 6, said point being on the Northerly right-of-way line of 5th Street and considering the East line of the East 108 feet of the West two-fifths of said Lot 6 as bearing NORTH 00°00'40" WEST with all other bearings contained herein and relative thereto;
Thence NORTH 00°00'40" WEST along said East line, 200.84 feet;
Thence NORTH 89°57'32" WEST, 108.04 feet to the TRUE POINT OF BEGINNING
Thence NORTH 00°00'22" WEST, 425.74 feet;
Thence NORTH 89°48'59" WEST, 124.26 feet;
Thence SOUTH 00°02'35" EAST, 426.05 feet;
Thence SOUTH 89°57'32" EAST, 123.98 feet to the Point of Beginning. Said parcel of land contains 120,524± sq. ft. (2.766± ACRES) acres, more or less, and is subject to any rights-of-way or other easements as granted or reserved by instruments of record or as now existing on said tract of land.

SURVEYOR'S CERTIFICATE:

I, Scott L. Ducommun, a registered professional land surveyor in the State of Colorado do hereby certify that the survey represented by this plat was made under my personal supervision, and that this plat is an accurate representation thereof. I further certify that the survey and this plat comply with all applicable rules, regulations and laws of the State of Colorado, State Board of Registration for Professional Engineers and Professional Land Surveyors, and Weld County

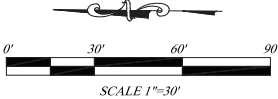
Scott L. Ducommun, L.S. 37041
For and on behalf of Alles Taylor & Duke, LLC
Job No. 2013-010
DATE: _____

LEGEND

- = FOUND #4 REBAR WITH NO CAP
- = FOUND #4 REBAR WITH GREEN PLASTIC CAP L.S. 34995 (UNLESS OTHERWISE NOTED)
- = ROW
- - - - - = EASEMENTS
- ⊠ = CALCULATED POSITION, NOT FOUND OR SET

SURVEYOR NOTES:

- 1) All references to books, pages, maps and reception numbers are public documents on file at the Clerk and Recorders Office of Weld County, State of Colorado unless stated otherwise.
- 2) NOTICE: According to Colorado law, you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon (13-80-105 C.R.S.). Alles Taylor & Duke, LLC and/or Scott L. Ducommun will not be liable for more than the cost of this survey and then only to the Client specifically shown hereon or in our file by signed authorization. Acceptance and/or use of this instrument for any purpose constitutes agreement by the client to all terms stated hereon.
- 3) BASIS OF BEARINGS: The Bearing of NORTH 00°00'40" WEST between the Southeast Corner of the East 108 feet of the West two-fifths of said Lot 6 (monumented with a #4 rebar with no cap) and the Northeast Corner of the East 108 feet of the West two-fifths of said Lot 6 (monumented with a plastic cap stamped L.S. 34995 on a #4 rebar) is assumed.
- 4) All known easements and/or rights-of-way, have been shown on this plat. The easements and or rights-of-way which are shown hereon may not be complete, are based on general information, and are to be used only in this context.
- 5) BENCHMARK: Bench mark designation is A 390 per U.S.G.S. located Northwest of the intersection of 13th Street and the Union Pacific Railroad. The elevation of said Bench Mark is 4654.18' (NAVD 88).



LINEAL UNITS STATEMENT
All lineal distances are measured in feet and decimal feet units. (Surveyor's feet)

ALLES TAYLOR & DUKE, LLC
3610 35th Ave., Unit 6
Evans, Colorado 80620
(970) 330-0308
ENGINEERING & LAND SURVEYING SERVICES

ALLES TAYLOR AND DUKE, LLC
ZONING DOCUMENT
3900 39th AVE. STE. No. 6 EVANS, CO.

DESIGNED BY:	MT
DRAWN BY:	MMA
CHECKED BY:	SD
DATE	PROJECT NO.
1/14/2020	2013-010

#	Date	Revisions	Description	Apprv

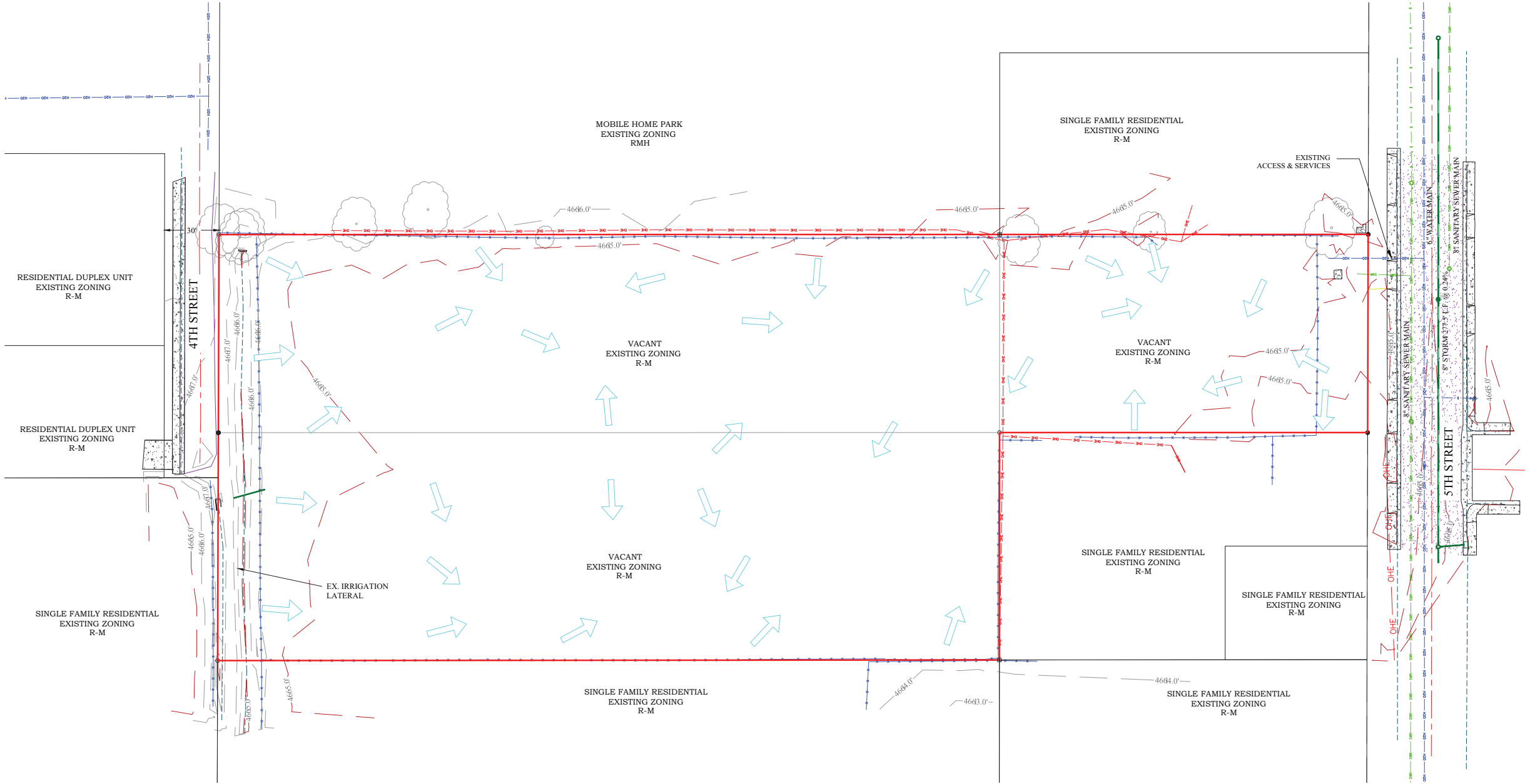
PROPERTY BOUNDARY MAP
REGALADO APARTMENTS REZONE
1913 5TH STREET GREELEY, COLORADO,
80631
COUNTY OF WELD
COLORADO
PART OF SEC. 29, T. 5 N., R. 65 W.

SCALE: 1" = 30'
17
SHEET 2 OF 4

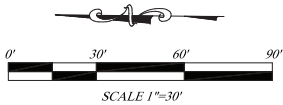
REGALADO APARTMENTS REZONE

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(SITE ANALYSIS MAP)

Attachment D



- LEGEND
- = FOUND #4 REBAR WITH NO CAP
 - = FOUND #4 REBAR WITH GREEN PLASTIC CAP L.S. 34995 (UNLESS OTHERWISE NOTED)
 - ⊠ = GAS METER
 - ⚡ = POWER POLE
 - ⊞ = WATER VALVE
 - ⊖ = BLOW OFF
 - ⚡ = STREET SIGN
 - ⚡ = FIRE HYDRANT
 - ⊕ = SPOT WHERE HEIGHT WAS OBTAINED
 - ⊠ = SECTION CORNER AS DESCRIBED
 - ⊠ = QUARTER CORNER AS DESCRIBED
 - ⊠ = CENTER CORNER AS DESCRIBED
 - = WIRE FENCE LINES
 - = OVERHEAD ELECTRIC LINE
 - = BURIED GAS LINE
 - = BURIED WATER LINE
 - = BURIED CABLE TV LINE
 - = FLOW LINE
 - = ROW
 - = EASEMENTS
 - = SECTION LINE
 - = EX. CONTOUR LINE
 - = CONCRETE
 - = ASPHALT
 - = CULVERT
 - ⊠ = CALCULATED POSITION, NOT FOUND OR SET
 - ⊠ = EXISTING DRAINAGE
 - ⊠ = PROPOSED DRAINAGE
 - ⊠ = UTILITY BOX



ALLES TAYLOR & DUKE, LLC
3610 35th Ave., Unit 6
Evans, Colorado 80620
(970) 330-0308
ENGINEERING & LAND SURVEYING SERVICES

ALLES TAYLOR AND DUKE, LLC
ZONING DOCUMENT
3610 35th AVE. STE. No. 6 EVANS, CO.

DESIGNED BY:	MT
DRAWN BY:	MMA
CHECKED BY:	SD
DATE	PROJECT NO.
1/14/2020	2013-010

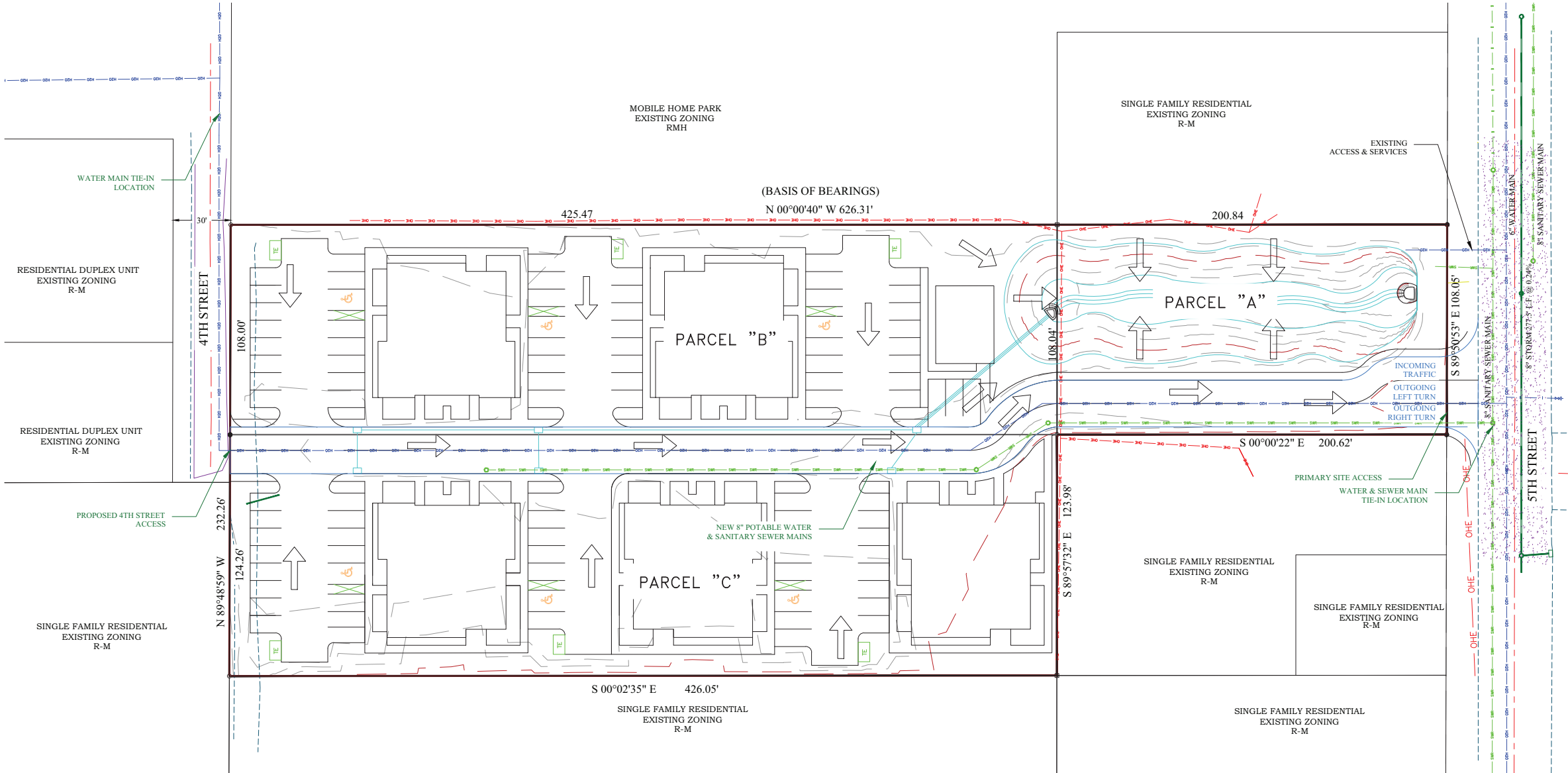
#	Date	Revisions	Description	Apprv

SITE ANALYSIS MAP
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COLORADO
PART OF SEC. 29, T. 5 N. R. 65 W.

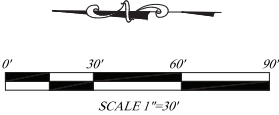
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(ZONING SUITABILITY MAP)

Attachment E



- LEGEND
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 - = FOUND #4 REBAR WITH GREEN PLASTIC CAP L.S. 34995 (UNLESS OTHERWISE NOTED)
 - ⊕ = GAS METER
 - ⚡ = POWER POLE
 - ⊗ = WATER VALVE
 - ⊙ = BLOW OFF
 - ⚓ = STREET SIGN
 - ⚓ = FIRE HYDRANT
 - ⊕ = SPOT WHERE HEIGHT WAS OBTAINED
 - ⬠ = SECTION CORNER AS DESCRIBED
 - ⬠ = QUARTER CORNER AS DESCRIBED
 - ⬠ = CENTER CORNER AS DESCRIBED
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 - = BURIED WATER LINE
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 - = FLOW LINE
 - = ROW
 - = EASEMENTS
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 - = PROPOSED CONTOUR LINE
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 - = CULVERT
 - ⊕ = CALCULATED POSITION, NOT FOUND OR SET
 - = EXISTING DRAINAGE
 - = PROPOSED DRAINAGE
 - ⊕ = UTILITY BOX



Parcel	Acre	Unit/Acre	Building		Pavement		Open space/landscaping	
			Foot²	Acres	Foot²	Acres	Foot²	Acres
A	0.50	0/0.50	0	0	6111.98	0.14	15577.27	0.36
B	1.06	20/1.06	11575.74	0.27	27710.65	0.64	6686.58	0.15
C	1.21	30/1.21	15563.61	0.35	22224.88	0.51	15074.56	0.35
Total	2.77	50/2.77	27139.35	0.62	56047.51	1.29	37338.41	0.86
Overall units per acre (50/2.77) = 18.05								

ALLES TAYLOR & DUKE, LLC
3610 35th Ave., Unit 6
Evans, Colorado 80620
(970) 350-0308
ENGINEERING & LAND SURVEYING SERVICES

ALLES TAYLOR AND DUKE, LLC
ZONING DOCUMENT
3610 35th Ave. Ste. N-6 Evans, CO

DESIGNED BY: MT
DRAWN BY: MMA
CHECKED BY: SD
DATE: 1/14/2020
PROJECT NO.: 2013-010

REVISIONS		Apprv
#	Date	

ZONING SUITABILITY MAP
REGALADO APARTMENTS REZONE
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COUNTY OF WELD
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PART OF SEC. 29, T. 5 N. R. 65 W.

SCALE: 1" = 30'
19
SHEET 4 OF 4

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PLANNING COMMISSION SUMMARY

ITEMS: Preliminary PUD (Planned Unit Development)

FILE NUMBER: PUD2018-0010 & ZON2020-0001

PROJECT: Lake Bluff Preliminary PUD

LOCATION: North of US Highway 34 Business, east of 101st Avenue, and west of 95th Avenue.

APPLICANT: Jonah Weiss of PCS Group Inc. on behalf of Otis Moore of Greeley-Rothe LLC

CASE PLANNER: Brittany Hathaway, Planner III

PLANNING COMMISSION HEARING DATE: February 11, 2020

PLANNING COMMISSION FUNCTION:

The Planning Commission shall consider the staff report, along with testimony and comments made by the applicant and the public and shall then make a recommendation to the City Council regarding the application in the form of a finding based on the review criteria in Sections 18.30.050(c)(3) and 18.32.040(b) of the Development Code.

EXECUTIVE SUMMARY

The City of Greeley is considering a request from applicant Jonah Weiss of PCS Group Inc., on behalf of owner Otis Moore of Greeley-Rothe LLC, for a rezone and Preliminary PUD (Planned Unit Development) Plan for approximately 295 acres of property located north of US Highway 34 Business, east of 101st Avenue, and west of 95th Avenue.

A. REQUEST

The applicant is requesting approval of a rezone from PUD (Planned Unit Development) to PUD (Planned Unit Development) and a Preliminary PUD Plan for approximately 295 acres of land to be known as the Lake Bluff PUD (*see Attachment A*).

The proposed Lake Bluff PUD would consist of a mix of residential and commercial uses with a proposed 10.9 acre Windsor School District elementary school site. Parks and trails are incorporated into the project to allow for pedestrian connectivity, outdoor activity, and public access to the Poudre Bluffs natural area. Approximately 11.5 acres of land would be dedicated for

parks and pocket parks, including 10.2 acres of programmable park area to be dedicated to the City of Greeley.

The applicant would also dedicate 54.7 acres of bluff preservation open space to the City of Greeley. The adjacent residential lots would require a 50-foot setback to minimize ridgeline effects. An additional 50' trail easement and 25' stormwater easement would also be dedicated along the bluff preservation open space area. An exhibit and cross-section is found on Sheet 13 of the PUD document (*see Attachment D*).

The applicant proposes a mix of residential housing options including multi-family, attached single-family, detached single-family, and large lot detached homes and estate lots. As proposed, the number of residential units would range from 646-1,150 units at a maximum density of 10 units per acre. Commercial uses, including mixed-uses, would account for approximately 51 acres of land, which would be concentrated along US Highway 34 Business (10th Street) and 95th Avenue.

The Lake Bluff PUD proposes specific uses for each planning area alongside specific development standards. Lot standards as proposed would vary from the City of Greeley Standards, allowing for smaller lot sizes and cluster developments. Development Matrix's can be found on Sheet 8 of the PUD Document (*see Attachment D*). Reduced lot sizes proposed are supplemented by stricter residential development standards to ensure a cohesive environment. The PUD also emphasizes drought-tolerant and natural landscaping to ensure sustainable development.

B. STAFF RECOMMENDATION

Approval

C. LOCATION

Abutting Zoning/Land Use:

North: R-L & Weld County zoning: A AG

South: H-A & PUD (Original *expired* Lake Bluff PUD)

East: PUD (Original *expired* Lake Bluff PUD)

West: PUD (Original *expired* Lake Bluff PUD)

Site Characteristics:

The site is largely undeveloped agricultural land. Oil and gas operations are located on the eastern side of the project adjacent to 95th Avenue. These existing well locations will encumber future development in the southeastern planning areas until such time they are capped and abandoned. A natural bluff area, known as the Poudre Bluffs is located at the northern boundary of the property.

Surrounding Land Uses:

North: Agricultural and a large lot single family residence.

South: Single-Family Residential and Agricultural. Promontory PUD (residential and commercial uses) is also located to the southwest of the project.

East: Agricultural

West: Agricultural

D. BACKGROUND

In 1985 a 1,701 acre property was annexed into the City, known as the Golden Triangle Second Annexation (Ordinance 1:85), which included the subject property. The entire annexed area was zoned PUD with a Conceptual PUD for a variety of approved land uses including residential, commercial, industrial, recreation, and open space uses.

In 1997, an application was approved to divide the 1,701 acre Golden Triangle PUD into six separate PUD tracts (PUD 11:97) while maintaining all of the underlying land uses. This allowed for a more logical grouping of parcels within the PUD and more streamlined processing of final PUD requests. The subject site was included in the Golden Triangle PUD #3.

In 2009, the first Lake Bluff Preliminary PUD (PUD 2:08) was approved by City Council. As approved, the proposal included approximately 793 acres of land allowing for up to 3,252 residential units on 347.3 acres, 105.7 acres of commercial, a 27.3 acre middle school site, a 9.9 acre elementary school site, 57.1 acres of parks and open space, 32.9 acre industrial tract. 70.9 acres of right-of-ways and 41.9 acres of existing oil and gas infrastructure areas. The 2009 Preliminary PUD was not finalized through a Final PUD process and therefore expired. In 2013, a second Lake Bluff Preliminary PUD (PUD 8:13) was approved with a plan significantly the same as the 2009 approved plan. This 2013 Preliminary PUD Plan also did not go through a Final PUD process.

In spite of several Preliminary PUDs approved for this site, none went through a Final PUD process, therefore the PUD has since expired. Per Section 18.32.110, the City may leave property with an expired PUD, requiring a new Preliminary and Final PUD to be submitted prior to any development activity.

The original Lake Bluff PUD has since been broken into four different ownership groups. The subject area for this proposal covers approximately one-third of the original Lake Bluff PUD. The applicant is working with the adjacent property owners to the east and west to coordinate development, including roads and planning areas to ensure a well-thought transition between

developments. Future PUD applications will be required to follow a similar Preliminary and Final PUD process.

The Lake Bluff Metropolitan district was approved in September 2018 (MD2018-0001). Upon approval of a master plan, which this Preliminary PUD would provide, the Metro District would be able to begin to issue debt for infrastructure improvements. The metro district was needed in order to undertake the planning, design, acquisition, construction and financing of public improvements, including external infrastructure. (*See Item G – Services*).

E. APPROVAL CRITERIA

In reaching recommendations and decisions as to rezoning land to the PUD district, the Planning Commission and the City Council shall apply the following standards in addition to the standards and procedures of Section 18.30.050 applicable to the rezoning of land:

a. Has the area changed, or is it changing to such a degree that it is in the public interest to rezone the subject property to encourage development or redevelopment of the area?

Staff Comment: The subject property has been utilized for agricultural uses and oil and gas exploration. Iterations of the Lake Bluff Preliminary PUD have been approved in 2009 and 2013, however they were not finalized and have since expired.

The immediate area has changed significantly since the Golden Triangle Conceptual PUD was approved in 1985. The land uses in the nearby Promontory PUD development, as approved, are predominately commercial and residential land uses, and residential development is still ongoing.

The proposed Lake Bluff PUD would offer additional commercial and residential uses in the western portion of Greeley. In addition, a transportation node is proposed at the corner of US 34 Business and 95th Avenue, which would benefit the area residents.

The proposed request complies with this criterion.

b. Has the existing zoning been in place for at least fifteen (15) years without substantial development resulting and does the existing zoning appear to be obsolete, given development trends?

Staff Comment: The existing PUD zoning has been in place since 2013. Given that the Lake Bluff Preliminary PUD Plan has expired, the zoning would be considered obsolete.

The request complies with this criterion.

c. Are there clerical or technical errors to correct?

Staff Comment: There are no clerical or technical errors to correct.

This criterion is not applicable.

d. Are there detrimental environmental conditions, such as flood plains, presence of irrigation ditches, inadequate drainage, slopes, unstable soils, etc., that may affect future development of this site and which may not have been considered during the original zoning of the property?

Staff Comment: The applicant has identified areas within the site that are impacted by significant slopes and the existing oil and gas facilities that would impact development.

Staff is unaware of any other environmental impacts on the property that were not also considered during the original zoning of the property.

This criterion is not applicable.

e. Is the proposed rezoning necessary in order to provide land for a community related use which was not anticipated at the time of adoption of the City's Comprehensive Plan; or have the policies of the City changed to the extent that a rezoning is warranted?

Staff Comment: The City's Comprehensive Plan has been updated since the last PUD zoning for this site in 2013. This PUD proposes a variety of residential housing options, including opportunities for commercial and mixed-uses to support existing and future residents in the area. In order to accomplish a mixed use development, the developer is proposing complete neighborhood offerings, of which are supported by the City's current Comprehensive Plan, the Preliminary PUD as proposed is appropriate to accommodate such a development.

The proposal complies with this criterion.

f. What is the potential impact of the proposed rezoning upon the immediate neighborhood and the City as a whole (including potential noise and environmental impacts, visual impacts, the provision of City services such as police, fire, water, sewer, street and pedestrian systems and parks and recreation facilities)?

Staff Comment: The proposed PUD would have a greater impact on city services upon development of the site.

As part of the overall Lake Bluff development, 95th and 101st Avenue would need to be improved and/or realigned. Additionally, 4th Street would be extended through the development. There are currently no water lines to the site; the water lines would have to be extended from Promontory Parkway along 10th Street. Sewer services would have to be extended from the northeast as well from 83rd Avenue and County Road 82 via the Poudre Trunk Line along 95th Avenue. Drainage, water, and sewer would be addressed at time of subdivision.

Impact to the City as a whole may include noise and other impacts, such as impacts to Police and Fire due to an increased residential population and commercial centers.

The PUD proposes to provide parks and trail systems to support the development and provide public connectivity through safe and well-planned means. All impacts and improvements would be addressed at time of platting.

g. Is there clear and convincing evidence that the proposed rezoning will be consistent with the policies and goals of the City's Comprehensive Plan and comply with applicable zoning overlay requirements?

Staff Comment: The subject property was reviewed against the policies regarding zoning overlay requirements. This criterion is similar to specific criteria governing the Preliminary PUD (detailed below). The proposal generally complies with the City's Comprehensive Plan.

The proposal complies with this criterion.

h. What is the potential impact of the proposed rezoning upon an approved zoning suitability plan for the property?

Staff Comment: The Lake Bluff PUD Preliminary Plan adopted in 2013 has expired. Therefore, the associated zoning suitability plan is no longer valid. As such, there is not an approved zoning suitability plan for the property.

This criterion is not applicable.

Standards for PUD establishment:

In reaching recommendations and decisions as to rezoning land to the PUD district, the Planning Commission and the City Council shall apply the following standards in addition to the standards and procedures of Section 18.30.050 applicable to the rezoning of land:

Area Requirements. *The area of a proposed PUD shall be of substantial size to permit its design and development as a cohesive unit fulfilling the stated purpose of these regulations and to*

establish the PUD as a meaningful part of the larger community. Each proposed PUD shall therefore be evaluated as to its adequacy in size with respect to both the nature and character of its internal design and to its specific location within the City. The minimum size of a PUD to be considered for establishment shall be two (2) acres.

Staff Comment: The proposal meets this requirement. The area of the proposed PUD is approximately 295 acres.

Consistency with the Land Use Chapter of the Comprehensive Plan. *A PUD proposal shall be found to be consistent with all applicable elements of the Land Use Chapter of the City's adopted Comprehensive Plan with respect to its proposed internal design and use and its relationship to adjacent areas and the City as a whole before it may be zoned as a PUD.*

- The following Comprehensive Plan goals are met with this PUD proposal:
 - ED-1: Promote a healthy, progressive, and competitive local economy.
 - Proposal provides future employment and tax base opportunities while proposing commercial development to benefit residents of west Greeley.
 - EH-2: Integrate healthy living into community planning and development.
 - Proposal provides a trail system that would connect the community to area parks, open space, and a school site. The trail network will also provide for pedestrian walkability to commercial areas, encouraging an active lifestyle. Additionally, there is a planned transit stop at 10th Street and 95th Avenue to be located near the higher density development area within the project.
 - EH-4: Support and collaborate with the City's school districts.
 - Although the City does not have a cash-in-lieu requirement for school land dedication, the applicant has worked with the Windsor, WE-4 School District to ensure their needs are being met with the future dedicated school site. The proposed school site is also located near the population it is planned to serve and near parks and amenities, such as the Bluffs Open Space. Proposed streets within the development would provide detached sidewalks and bike lanes to provide safer access to the proposed school.
 - GC-1: Manage growth effectively.
 - The transition to parks and open lands are considered with the Preliminary PUD proposal. Larger lots are offered adjacent to the natural areas and trails which would also provide increased setbacks to mitigate negative impacts.
 - CG-2: Promote a balanced mix and distribution of land uses.
 - The proposed PUD offers a mix of residential, commercial, and mixed-uses with a cohesive transition between these areas. Commercial offerings would also provide for employment opportunities and housing balance.

- CG06: Maintain and enhance the character and inter-connectivity of Greeley's neighborhoods.
 - Lake Bluff is envisioned as a complete neighborhood, offering a mix of uses and multi-modal connectivity while incorporating a high level of design criteria and sustainable development.
- HO-2: Encourage a broad diversity of housing options.
 - Lake Bluff would provide a variety of housing types including multi-family, single family detached, single family attached, and large lot development for high-end housing.
- NR-1: Protect, conserve, maintain, and improve the quality and quantity of water available to Greeley.
 - This objective is met through the PUD's sustainable landscape standards which encourages drought-tolerant trees and plants, natural grasses, and responsible use of turf. The PUD is proposing to also use non-potable water for park and open space irrigation.

F. PHYSICAL SITE CHARACTERISTICS

HAZARDS

The applicant has identified areas within the site that are impacted by significant slopes and existing oil and gas facilities, which may impact development. Setbacks have been identified with this Preliminary PUD to protect sensitive bluff areas. These setbacks would be included on subsequent plats. Staff is unaware of any other hazards on the property.

WILDLIFE

The areas near and within the Poudre Bluffs are identified for moderate impacts to wildlife. To protect the existing habitat, the applicant intends to protect these sensitive areas by dedicating open space and requiring large building setbacks adjacent to the bluff area.

In accordance with Section 18.48.050(b) of the City's Development Code, a biologist's report will be required to be submitted for any development that may occur near the impacted areas.

FLOODPLAIN

The property is not located within the 100-year floodplain, according to the adopted Federal Emergency Management Administration (FEMA) flood data.

DRAINAGE AND EROSION

Increases in stormwater flows from development would be addressed with on-site and off-site detention ponds, which would be designed to limit runoff to historical flows. Another effort to minimize stormwater runoff would be to limit the amount of non-pervious surface, through best management practices.

Erosion control devices would be designed by the developer and reviewed by the City at time of construction to ensure that best management practices as utilized as the project progress.

TRANSPORTATION

The subject property has frontage on 10th Street (US 34 Business), 95th Avenue and 101st Avenue. Direct access to the development is proposed from 95th Avenue and along future 101st Avenue, and also along the 4th Street roadway extension. All future roadways within the development would be required to comply with standards set forth in the 2035 Comprehensive Transportation Plan.

Access permits from the Colorado Department of Transportation (CDOT) would be required as traffic volumes are expected to exceed a 20% increase at build out of this project (projected 2027). Turn lane and signal improvements to the intersection of 10th Street and 95th Avenue, may be warranted when development reaches 25% build out.

Turn lanes may also be required at the intersections of 10th Street and 101st Avenue in order to meet CDOT standards at build out. All roadway improvements would be determined at time of development and will be routed to the appropriate agencies for review and comment.

Further subdivision of the property would require the dedication of public rights-of-way as necessary to support the development. Roadway upgrades, extensions and realignments are also anticipated as part of the future development of the site.

The City of Greeley Traffic Engineer has reviewed the Traffic Study and has no significant concerns at this point. Further traffic analysis would occur at time of subdivision.

G. SERVICES

WATER

The City of Greeley provides water services to the area. Water lines would be extended from Promontory Parkway via 10th Street. Water provisions within the development would be reviewed at time of subdivision.

SANITATION

The City of Greeley would provide sanitary services to the area. Sewer services would be provided via the future Poudre Trunk Line from the northeast along 95th Avenue. Sanitary Sewer would be also reviewed at time of subdivision.

EMERGENCY SERVICES

The property is served by the City of Greeley's Police and Fire Departments. Fire Station #7 is located along 10th Street, approximately 2.3 miles east of Lake Bluff.

Fire Station #6 is currently under construction, located at the intersection of US Highway 34 Bypass and Promontory Parkway, approximately 1.5 miles south of Lake Bluff.

PARKS AND OPEN SPACES

The proposal includes 11.5 acres to be dedicated for parks and pocket parks, including 10.2 acres of programmable park area to be dedicated to the City of Greeley.

The applicant would also dedicate 54.7 acres of bluff preservation open space to the City of Greeley for public use.

SCHOOLS

The subject property is located within the Windsor-Severance (WE-4) School District. The applicants are in ongoing discussions with the School District and would dedicate a 10.9-acre elementary school site to serve the area.

The new school site would not only provide neighborhood schools for the residents of the Lake Bluff development, but also for the residents of the City that are currently within the boundary of the WE-4 School District.

METROPOLITAN DISTRICT

The applicant intends to finance many of the on- and off-site improvements for the development by means of a Metropolitan District. This district has been approved and is awaiting approval of this Preliminary PUD to begin infrastructure development.

H. NEIGHBORHOOD IMPACTS

VISUAL

Visual impacts will be reviewed for at time of subdivision against landscape and buffer requirements set forth in Code. Visual impacts resulting from residential development along the Poudre Bluffs would be mitigated through significant setbacks to ensure any ridgeline effects are avoided.

NOISE

Any potential noise created by future development will be regulated by the Municipal Code.

I. PUBLIC NOTICE AND COMMENT

Neighborhood notices for this meeting were mailed to surrounding property owners on January 23, 2020 per Development Code requirements. A sign was also posted on the site on January 29, 2020. As of February 5, 2020 no written comments have been received.

Required mineral rights notifications were mailed with the previous PUD applications, however the applicant mailed a courtesy notice to mineral rights owners with this application.

J. PLANNING COMMISSION RECOMMENDED MOTIONS

1. Based on the application received and the preceding analysis, the Planning Commission finds that the proposed rezoning from Planned Unit Development (PUD) to Planned Unit Development (PUD) meets Development Code Section 18.32.050(c)(3) a, b, e and g and therefore, recommend approval of the rezone to City Council.

2. Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Lake Bluff Preliminary PUD Plan meets Development Code Section 18.32.050(c)(3) a, b, e and g and Section 18.32.040(b) and therefore recommends approval to City Council.

ATTACHMENTS

Attachment A – Zoning/Vicinity Map

Attachment B – Project Narrative

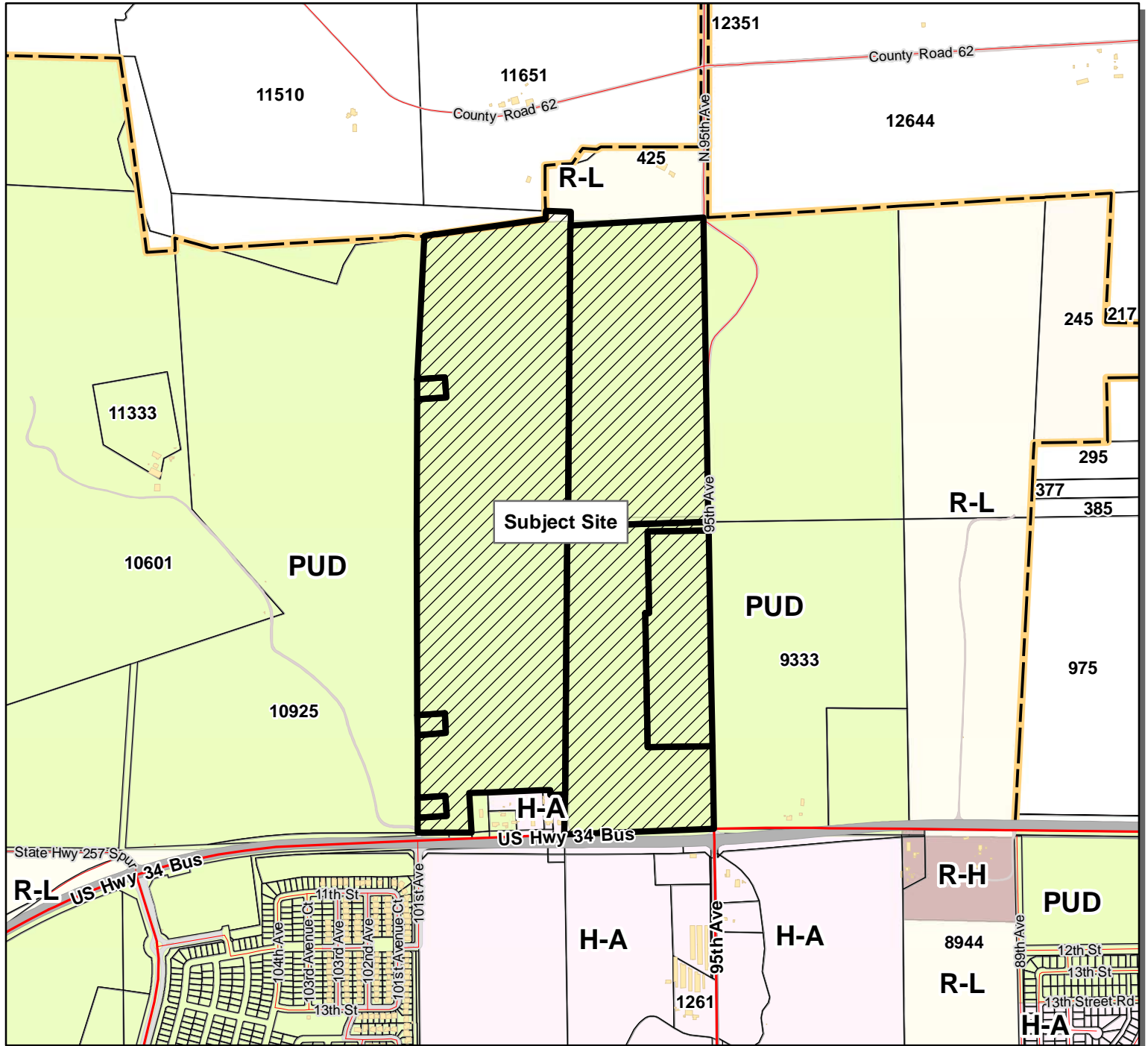
Attachment C – Boundary Map

Attachment D – PUD Document

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Zoning/Vicinity Map

Lake Bluff Preliminary PUD



PUD2018-0010 & ZON2020-0001

0 1,300 2,600 Feet



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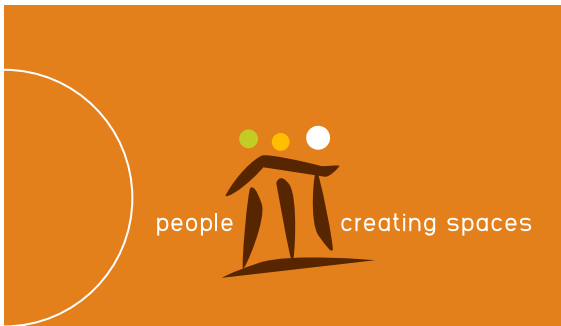
Lake Bluff

Greeley, Colorado

Project Narrative

December 2019





December 3, 2019

Ms. Brittany Hathaway
City of Greeley Community Development Department
Planning and Zoning
1100 10th Street, 2nd Floor
Greeley, CO, 80631

Re: Lake Bluff PUD Application

Dear Brittany,

The Lake Bluff Preliminary Planned Unit Development Plan provides land use regulations and standards for the design and development of the community comprising approximately 298 acres. The community is generally situated north of 10th Street (Hwy. 34 Bypass) with 95th Ave. running north along the Eastern edge of the community. This Lake Bluff PUD replaces the original PUD that was most recently approved in 2013.

Since the time of the original approval, the project property has been broken into four different ownership groups. As discussed with staff this PUD covers approximately one third of the property that the original PUD encompassed and is owned by one owner, Westside Investment Partners / Greeley Rothe, LLC. Westside has worked with the landowners to the east and west to coordinate road connections and zoning so that when those landowners proceed through the PUD process on their parcels, connections for roads and infrastructure as well as zoning transitions should be seamless.

As you will see when you review our application, it is very much in keeping with the underlying plan from the original PUD for Westside's portion of Lake Bluff. We are still transitioning densities as before and we are keeping the elementary school on our site. Similarly, we are still proposing to preserve the Bluffs given the regional importance of this asset, and the City's interest in acquiring it. We are also still maintaining a proposed neighborhood park north of the 4th Street extension, but we are also providing a neighborhood park south of 4th Street as requested by City staff.

As we previously discussed with Staff, the compilation of different PUDs will be reviewed in the context of the original Lake Bluff PUD, especially from the perspective of the integration of schools, parks and open space. While we can't speak for the desires or intentions of the other ownership groups, we believe that this proposed plan is in keeping with the intent of the original PUD, and we would ask that it be judged on its own merit in that regard.

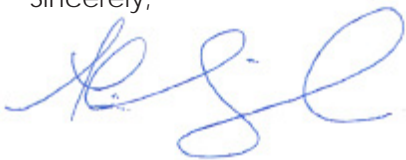
In getting to this submittal, we also discussed the use of the Lake Bluff name with adjacent owners and it was deemed acceptable for Westside Investment Partners to use the Lake Bluff name for this development, as our adjacent owners will be selecting new names for their projects when they come forward.

In order to provide services to the new Lake Bluff community, Metro Districts have been formed for Lake Bluff and have been approved, awaiting conditional approval of this preliminary PUD. Once this PUD is approved it will facilitate the ability for the Metro District(s) to issues bonds, and in turn, the extension of infrastructure to this part of the City which will not only benefit Lake Bluff, but the City as a whole, because it will open up much more land for development.

The pages below in this narrative include the Comprehensive Plan Compliance breakdown and also identify the variances that exist between this PUD and the City of Greeley Municipal Code.

Thank you in advance for your time and consideration of this PUD application, it is greatly appreciated.

Sincerely,



Alan Cunningham, RLA
PCS Group, Inc.
720-259-8247
al@pcsgroupco.com

Imagine Greeley - Comprehensive Plan Compliance with Lake Bluff

03. GOALS & OBJECTIVES

ECONOMIC HEALTH & DIVERSIFICATION

Goal ED-1: Promote a healthy, progressive, and competitive local economy.

Objective ED-1.2 Tax Base

Encourage a growing tax base that supports the well-being of the community, essential governmental services, and a high quality of life.

The addition of mixed use commercial along both 10th Street and 4th Street allows for an increase in sales tax revenue and convenient retail shopping for members of the community, as well as others in West Greeley.

Objective ED-1.4 Economic Diversification

Diversify the City's employment base to assure stability in times of economic change.

The mixed use commercial along 10th Street and 4th Street allows for increased job opportunities along these important corridors, which will inevitably help to diversify the City's employment base once developed.

EDUCATION, HEALTH, AND HUMAN SERVICES

Goal EH-2: Integrate healthy living into community planning and development.

Objective EH-2.3 Active Living

Encourage residents to adopt active and healthy lifestyles to improve their general health and well-being. Promote opportunities to participate in fitness and recreation activities, and provide amenities, such as trails and bike paths, that promote physical activity throughout the city.

The Lake Bluff community will provide a connected and integrated system of trails and walks to promote health and well-being. This includes a trail system that connects the community and school site to the Bluffs Preservation Area, as well as to parks located within the community, promoting an active lifestyle for our residents.

Objective EH-2.4 Land Use

Promote land use decisions that support walkability and improve access to basic needs, such as neighborhood markets or grocery stores, parks and natural areas, as well as medical and personal services. Support access to goods and services that support health and wellness in all neighborhoods.

The integrated trail network and the addition of mixed use commercial along 10th Street and 4th Street allows for community members to walk to potential services. Additionally the trail network connects with parks and the open space around the bluffs allowing community members and visitors access to a large open space area, and to future regional trail connections.

Objective EH-2.5 Walkability & Bikability

Plan and design neighborhoods so that employment, schools, shopping, parks, transit stops, and other facilities are within a 10 minute safe walk of housing wherever feasible.

The centrally located school allows for easy access for members of the community to walk or bike to. Parks are located throughout the community to ensure a safe 10 minute walk from homes in the community. Employment and shopping centers will be located within the community along 10th and 4th streets. There is also a proposed transit stop located along 10th Street. While this transit stop is located farther than a 10 min walk from some of the community it is located near the proposed multi-family housing providing transit options for residents who lack a vehicle.

Objective EH-2.6 Built Environment

Encourage the construction of built environments that support health and active living, such as mixed-use centers, corridors, and neighborhoods that support walkability, providing safe options for active transportation, and considering the safety and comfort of all users when designing streets, parks, and other public spaces.

The streets for the community will all have sidewalks, and in many instances off street trails are being provided to help improve connectivity to parks, schools, and mixed-use commercial areas, all helping to promote walkability at Lake Bluff.

Goal EH-4: Support and collaborate with the city's school districts.

Objective EH-4.1 Impacts of New Development

Continue to refer proposed residential developments to the school districts for their review and encourage them to comment on the development's expected impacts on area schools. When necessary, work with the school districts and developers of residential projects to set aside sites for schools needed to serve their developments.

We have worked closely with the Windsor School district to provide a well located and accessible 10 AC parcel for the construction of a future elementary school.

Objective EH-4.2 School Siting

Collaborate with the school districts in developing long-range school siting plans. Encourage new schools on sites that are:

- Located near the populations they are intended to serve;
- Co-located with or near existing facilities and amenities that provide opportunities for shared use and capital improvements, such as City parks;
- Separated from potential land use hazards or nuisances;
- Served by transportation options (e.g., roadways, transit, bike paths and sidewalks) that provide safe access to and from school; and
- Sites so as to minimize impacts on the surrounding neighborhood or area and existing transportation network.

We have worked closely with the Windsor School district to provide a 10 AC parcel for the construction of an elementary school. The school is centrally located in the community and near our higher density residential areas, providing convenient access for a majority of our residents. Additionally, the site is well served by the vehicular roadway network, and sidewalks and off street trail connections are proposed to a nearby neighborhood park, and beyond to the rest of the community.

Objective EH-4.3 Land Use and Zoning Changes

Discourage land use changes, zoning changes, and/or new developments that will negatively impact the safety of students while attending school, travelling to and from a school, or diminish residential population in areas that are served by a neighborhood school.

The school site is located interior to the property and surrounded by proposed residential properties that will utilize the school. As mentioned, multi-modal connectivity will also occur to this school site for increased student safety.

Objective EH-4.4 Safe Routes to School

Support ways for students to safely travel to and from school along well-planned and improved routes, and, as necessary, with the support of school crossing guards. Ensure that new residential developments incorporate facilities and/or design elements that support safe walking and bicycle routes for students. Partner with parents, school administration, the Police Department, and others to implement education and encouragement programs to promote safe walking and biking.

The proposed streets will all have detached sidewalks and the collector and arterial roads will have dedicated bike lanes, helping to ensure safe access to the proposed school. Additionally, the sidewalk and off street trail system has been designed to provide connectivity and numerous safe options for students to get to school.

GROWTH & CITY FORM

Goal GC-1: Manage growth effectively.

Objective GC-1.6 Transitions to Parks and Open Lands

Ensure that new development abutting land that is intended to remain undeveloped, such as parks, open lands, environmentally sensitive areas, and agricultural land with conservation easements, provides for transitions in uses and intensity that mitigate impacts on these adjacent areas.

The proposed development along the environmentally sensitive bluff area will be on larger lots that allow for transitions into the open space along the bluff areas. We have coordinated with Natural Areas and Trails on this interface, to provide desired buffering and setbacks from the Bluffs. This will help to mitigate negative impacts to the bluff area from the adjacent development.

Goal GC-2: Promote a balanced mix and distribution of land uses.

Objective GC-2.2 Jobs/Housing Balance

Support zoning and development patterns that expand opportunities for people who live in Greeley to also work in Greeley (or vice versa).

The proposed plan includes both Mixed Use Commercial Low and Commercial High zoning along 10th Street and 95th Ave to expand employment opportunities in west Greeley for residents in Lake Bluff and the surrounding neighborhoods.

Objective GC-2.3 Pedestrian and Bicycle-Oriented Development

Encourage a development pattern that encourages walking and bicycling whenever possible—by locating employment, shopping, recreation, entertainment, transit, and other services within a quarter-mile of residential areas.

The mixed use commercial along 10th Street and 4th Street allows for community members to walk or bike to potential services, employment, and shopping. Additionally, a transit stop along 10th Street provides convenient access to members of the community as well.

Objective GC-2.4 Mixed-Use and Transit-Supportive Development

Promote horizontal and vertical mixed-use development that integrates a variety of housing, commercial, employment, and recreational uses particularly in centers and along corridors identified on the Land Use Guidance map.

The Lake Bluff development standards are set up to promote a variety of housing types in proximity to commercial, employment and recreational uses. This will occur mostly in a horizontal mixed use development pattern, although the heights allowed in the non-residential standards will accommodate vertical mixed use as well if the market conditions desire it in this area.

Objective GC-2.5 Neighborhood Centers

Promote neighborhood centers—small-scale retail areas providing basic commercial goods and services—to locate within a walkable distance of residences, usually a quarter-mile or less.

The proposed mixed use commercial along 4th Street will likely provide small scale retail services, with many of the proposed residents within a quarter-mile or less. While the commercial along 10th Street will likely be larger in scale to serve a broader part of the region, it will also be walkable from the higher density residential parts of the community that are located adjacent to it.

Goal GC-3: Promote new development, infrastructure investments, and public improvements that enhance the character of the community.

Objective GC-3.1 Community Character

Work with residents, businesses, and property owners to define and identify desirable characteristics of their neighborhoods or areas of the city to create neighborhood and special area plans. Reflect the community's

character through the design of new developments, streetscapes, public art, landscaping, and related features.

While we are not creating a special area plan, the property owner of Lake Bluff is working closely with City staff to respond to the special character of the Bluffs preservation portion of the property to ensure that it is properly integrated within the community.

Objective GC-3.4 Tree City

Reinforce the community's image as a "Tree City" by promoting the establishment and maintenance of tree-lined travel corridors throughout the community, taking into consideration water use, conservation strategies, and the natural environment.

We will require the use of detached walks and street trees throughout the community to help reinforce this concept.

Goal GC-6: Maintain and enhance the character and inter-connectivity of Greeley's neighborhoods.

Objective GC-6.1 Complete Neighborhoods

Foster the development of "Complete Neighborhoods" that exhibit the following characteristics:

- Contain a variety of attributes that contribute to a resident's day-to-day living (residential, commercial, employment, mixed uses);
- Foster multi-modal connectivity (pedestrians, bicyclists, transit, drivers);
- Incorporate architectural features that are visually interesting and add to a cohesive identity, both internally and as a transition to other adjacent neighborhoods;
- Uses and design foster inclusivity through opportunities for social activities and interaction;
- Promotes community involvement and maintains a secure environment;
- Promote sustainable development practices;
- Have a memorable character or sense of place, conveyed through urban design as well as the features associated with neighborhood common areas and public spaces; and
- Integrates, where possible, small-scale retail or services.

Lake Bluff is being envisioned and designed as a complete neighborhood as defined in this objective. We have included a mix of zone districts within the plans to create a mixed use community with residential, commercial and employment uses. We are also including multi-modal connectivity throughout the community to promote an active and healthy, pedestrian oriented lifestyle within Lake Bluff. Architectural standards are also being included in the PUD to ensure a commitment to quality development and a cohesive identity throughout the community.

Objective GC-6.2 Neighborhood Connectivity

Promote design standards and practices that improve connectivity for all modes between neighborhoods and adjacent neighborhoods, centers, corridors, and areas.

Lake Bluff is being designed to provide excellent connectivity for pedestrians, cyclists and motorists alike. We are providing excellent street connectivity and sidewalks throughout Lake Bluff and to the neighboring properties, and we are also proposing a well connected parks and open space system with off street trails to tie the different parts of the community together.

HISTORIC & CULTURAL RESOURCES

Goal HC-1: Preserve and promote local heritage.

Objective HC-1.1 Identification of Historic Resources

Continue the identification of historically significant elements of the built and natural environment associated with people and events important to Greeley's history and/or its diverse population through historic resource surveys or other methods.

The Sharktooth Ski Area existed in this portion of the Bluffs from 1971-1986 and contributed to the history of Greeley. The City is requesting dedication of the bluffs portion of the property to them, and we would

encourage the City to recognize this history as part of the plans for this natural area.

HOUSING

Goal HO-2: Encourage a broad diversity of housing options.

Objective HO-2.1 Diversity in New Development

Encourage a variety of housing types, sizes, styles, and price-points of housing units within new residential projects or subdivisions. Ensure that Greeley has neighborhoods and/or development sites available and attractive to its desired workforce, including higher-end housing for executives and other high-paid workers.

The Lake Bluff development will provide a variety of housing types, including single family lots of different sizes, paired homes, townhomes, and multi-family units. Three different lot sizes will be provided for the detached housing, including larger lots for higher-end housing.

Objective HO-2.2 Rental Housing

Foster the development of attractive, safe, and well-maintained rental properties for those who do not qualify for or desire to own property.

Multi-family apartments will be permitted in the southern portion of the site allowing for those who wish to rent a place to live within the community.

INFRASTRUCTURE

Goal IN-1: Ensure developed areas in Greeley are served by adequate public facilities and services.

Objective IN-1.6 Sanitary Sewer Facilities

Sewer facilities for a given proposed development are considered adequate if the proposed development is connected to a sewer line that is eight inches or larger in diameter with sufficient capacity as defined by the City. Confirmation of sewer capacity is required.

As part of this development significant improvements and upgrades to sewer infrastructure will occur. The development of Lake Bluff will bring off site sewer lines from the east to serve this property, and this will also provide sewer capacity to spur on future development on adjacent sites.

Objective IN-1.7 Water Facilities

Water facilities for a given proposed development are considered adequate if the proposed development is connected to an existing water line that is eight inches or larger in diameter. Confirmation of water supply is required.

As part of this development significant improvements and upgrades to water infrastructure will occur. Water infrastructure will be brought to the site from the east, with secondary connection being made to the west to ensure an adequate looped system is provided. Similar to the extension of sewer facilities, the connection of water to both sides of the Lake Bluff property will make development of adjacent properties more feasible.

Objective IN-1.8 Storm Water Facilities

Storm water facilities for a given proposed development are generally considered adequate if the site can safely convey storm water runoff to a regional storm water detention facility with sufficient capacity as defined by the City. If the City determines the proposed development cannot safely convey runoff to an adequate storm water system, adequacy requirements shall be met with detention facilities constructed on-site.

On site detention facilities will be provided to treat and detain storm water runoff as required by the City.

Objective IN-1.9 Transportation

Transportation facilities to support new development are generally considered adequate if the proposed development is connected to a collector or arterial road or expressway (or will be connected at the time the improved arterial or collector is constructed within the two-year budget cycle), constructed to an acceptable cross-section with sufficient capacity to serve the development as defined by the City. Project-specific traffic

studies to be provided by the developer and accepted by the City shall be required in order to make a final adequacy determination.

The development is connected to both established and proposed arterials and collectors. A project specific traffic study has been provided to the City.

Goal IN-2: Ensure the design, construction, and appearance of City infrastructure and facilities contributes to the character of the community.

Objective IN-2.1 Multi-Functionality

Incorporate deliberate and attractive multi-functionality into drainage and detention areas, open space, natural areas, pedestrian and other corridors so that infrastructure, and public investments in it, may provide multiple benefits to the community.

While the details still need to be worked out, in many instances we are proposing trail corridors through storm water detention areas and in the open space area around the bluffs, to provide increased connectivity throughout the community.

NATURAL RESOURCES & OPEN LANDS

Goal NR-1: Protect, conserve, maintain, and improve the quality and quantity of water available to Greeley.

Objective NR-1.3 Water Conservation

Promote the most efficient use of water through conservation and related practices.

We will be utilizing City of Greeley water conservation practices and the City's water-wise plant guide when the landscape plans are developed to ensure that vegetation is utilized that is well suited to the Greeley micro-climate. Additionally, modern automated irrigation systems with rain sensors will be implemented to ensure the most efficient application of water to the landscape at Lake Bluff.

Objective NR-1.4 Non-Potable Water

Assertively promote the use of non-potable water for irrigation as a viable and efficient alternative to treated water.

We will be using non-potable water for park and open space irrigation.

Goal NR-2: Manage emissions, effluents, waste, and other sources of pollution that impact our quality of life and natural environment.

Objective NR-2.3 Noise Levels

Promote acceptable noise levels throughout the community.

Lake Bluff is a mixed use community, but the higher intensity commercial uses have been placed appropriately along the arterial streets in and around the community to consolidate noise in those areas and to help buffer the noise from W. 10th Street. The residential portions of the community have been placed on the interior of the community, and parks and open space / detention areas have been strategically placed to mitigate noise from commercial areas as much as possible.

Objective NR-2.4 Light Pollution

Minimize light trespass from developed areas and reduce sky glow to maintain night sky visibility.

Responsible lighting design practices will be followed to minimize light trespass from developed areas, especially in proximity to the Bluffs, where International Dark Sky Association certified exterior lighting will be utilized on adjacent lots and structures.

Objective NR-2.5 Urban Heat Island Effect

Promote the use of sustainable development practices that have been demonstrated to mitigate the urban heat island effect.

Within our commercial areas attention will be paid to the design of parking areas to ensure that large expansions of pavement are broken up with landscape islands, thus helping to mitigate the urban heat island effect that can result from expansive parking lots.

Objective NR-2.7 Stormwater Management

Promote the use of low impact development (LID) practices and design features to manage stormwater runoff and flooding, increase groundwater infiltration, and reduce the amount of sediment and other pollutants entering our surface waters.

The proposed stormwater design for the Lake Bluff development utilizes LID practices by way of grass buffers/swales and limiting Directly Connected Impervious Areas. All surface runoff is conveyed to a series of detention ponds which have all been sized to assure the 100-yr capture volume and a 5-yr historic release rate. Water Quality Capture Volume has also been incorporated and assured to drain within the 40-hr time frame as specified by the state. The 40-hr drain time allows for the majority of pollutants to settle prior to being released downstream. Attenuating the 100-yr developed flows down to the 5-yr historic rate inherently improves safety of downstream conveyances and greatly improves stream erosion. It also serves to provide a location that helps facilitate groundwater infiltration. Overall, the stormwater practices being implemented with this Lake Bluff development will serve to provide a safe and clean method of mitigation.

Objective NR-2.9 Groundwater Quality

Mitigate impacts on aquifers and groundwater recharge areas from sources of groundwater pollution within Greeley watersheds.

The stormwater conveyance methods utilized within this Lake Bluff development will serve to reduce pollution impacts on groundwater. This is accomplished by minimizing Directly Connected Impervious areas and allowing all surface flows to be conveyed to a series of detention ponds. In a development like this one, with commercial and residential spaces, pollutants are typically sourced from vehicles and fertilizers. As designed, pollutants will be conveyed to ponds through various methods including storm and grass lined channels. Flows running through grass lined channels will have ample opportunity to scrub pollutants prior to entering ponds. Once within ponds, the inclusion of the Water Quality Capture Volume doubly assures pollutants are mitigated prior to entering Greeley watersheds. Flows being piped or conveyed via the development's streets will avoid polluting Greeley watersheds via the Water Quality Capture Volume. In addition, these ponds act in series allowing for any pollutants not captured in the upstream ponds to have a chance to be captured in subsequent downstream ponds.

Goal NR-3: Demonstrate stewardship of the environment.

Objective NR-3.1 Protect Natural Features and Viewsheds

Ensure that important natural features and viewsheds are protected or enhanced as development occurs.

We are proposing that the Bluffs on the north side of the site are preserved as a regional park to be dedicated to the City of Greeley as requested, to ensure their protection in perpetuity.

Objective NR-3.2 Public Open Lands

Secure and protect meaningful public open lands areas within and near to the city in order to provide visual relief from the urban landscape, preserve "food sheds" and important vistas, and/or retain separation from other communities.

As identified in the parks master plan, the Bluffs will be protected and preserved for public use through dedication to the City of Greeley.

Objective NR-3.4 Use of Sensitive Lands

Strategically secure and/or acquire ecologically sensitive or important lands to protect their ecological function or other natural values.

As identified in the parks master plan, the ecologically sensitive Bluffs area will be protected and preserved for public use through dedication to the City of Greeley.

Objective NR-3.5 Preservation of Natural Areas

Work with land owners, developers, farmers, and environmental interests to protect important natural areas, native wildlife habitat, vistas, and other significant or environmentally sensitive lands. Develop mechanisms to ensure that natural areas are preserved as development occurs.

We are working with the City of Greeley to protect and preserve over 50 acres of the Bluffs portion of the property through dedication to the City to ensure that this important natural area remains as surrounding development occurs.

Objective NR-3.6 Resource Extraction

To the extent possible, minimize negative impacts from the extraction of sand, gravel, oil and gas, and other natural resources on the environment and surrounding land uses. Encourage the thoughtful reclamation of land that has been mined.

Oil and gas extraction has occurred and is currently occurring on the site. Many of the wells have been abandoned and capped allowing for recapture of much of the ground that would've otherwise been included in larger required setbacks. Oil and gas extraction will continue to occur on the east of the site, with a newly installed well facility. Buffering will be used to separate surrounding uses from the on going mineral extraction, through the careful placement of parks and open space areas, as well as future landscape design.

Objective NR-3.9 Wildlife Habitat

Protect, maintain, and manage wildlife habitat in both natural and urban settings.

We are preserving over 50 acres of the Poudre River Bluffs, thus helping to preserve and connect habitat wildlife habitat. Additionally, large parks and open space corridors are included throughout Lake Bluff to ensure that connectivity exists through the community as well, especially in our most significant drainage corridor.

Objective NR-3.11 Oil and Gas Operations

Encourage the co-location of oil and gas facilities, where possible, to minimize the overall footprint of affected areas and impacts on adjacent land uses and the environment.

Oil and gas extraction has been consolidated in the south eastern portion of the site, allowing for the abandonment and capping of other pre-existing wells on the site, thus minimizing the overall footprint of the affected areas, and importantly removing previous wells from the Bluffs area.

Goal NR-4: Use resources efficiently and sustainably.

Objective NR-4.2 Energy Efficiency

Encourage the efficient use and conservation of energy.

Builders within the Lake Bluff community will be encouraged to use the most modern and energy efficient types of construction available.

Objective NR-4.3 Landscaping and Plant Species

Promote the use of landscaping with species appropriate to the local climate conditions.

We will be utilizing City of Greeley water conservation practices and the City's water-wise plant guide when the landscape plans are developed to ensure that vegetation is utilized that is well suited to the Greeley micro-climate. Additionally, modern automated irrigation systems with rain sensors will be implemented to ensure the most efficient application of water to the landscape at Lake Bluff.

PARKS & RECREATION

Goal PR-1 Develop and maintain an inter-connected system of parks, trails, and recreational facilities.

Objective PR-1.3 Levels of Service

Strive to meet and maintain levels of service for park and recreational facilities set forth in the Parks, Trails, and Open Lands Master Plan:

- Neighborhood Parks: 3.25 acres per 1,000 residents
- Community Parks: 3.5 acres per 1,000 residents
- Sports Complexes: 1.5 acres per 1,000 residents

While the Lake Bluff site is not conducive to the inclusion of large community parks or sports complexes, it will be contributing over 50 acres of critical Bluffs preservation to the City for use as a regional park, and we will also be including over 10 acres of neighborhood parks as coordinated with City staff.

Objective PR-1.5 Trail System

Connect and expand the trail system in a manner that broadens access, diversifies recreational trail offerings, creates continuity throughout the system, and enhances safety and usability.

We are providing trail connections throughout the site, including an 8' regional trail along the top of the bluffs which will provide the ability for future regional connectivity as adjacent properties develop.

Objective PR-1.8 Streetscapes and Greenways

Design streetscapes, linear parks, greenways, and other green spaces within the city as integral elements of the park system.

We are proposing parks and linear greenways at Lake Bluff which provide connectivity from the school and neighborhoods up to the Bluffs preservation area to ensure an integrated parks and open space system.

Goal PR-2 Ensure the City's system of parks, trails, and recreational facilities align with and support other community goals.

Objective PR-2.1 Water Conservation

Ensure that new parks support best practices in water conservation and irrigation efficiency including reducing irrigated bluegrass areas unless needed for a specific activity. Integrate such strategies into existing park facilities as opportunities arise.

The proposed parks will use non-potable water and make use of a limited amount of turf for active areas. Additionally an automated irrigation system will be used to ensure irrigation efficiency and water conservation.

Objective PR-2.2 Planting and Landscaping

Incorporate native vegetation, natural grasslands, and low water-use plants and landscaping approaches into the design of parks, trails, and recreational facilities.

We will incorporate native vegetation and low water-use plants into the design of the parks. We will be utilizing City of Greeley water conservation practices and the City's water-wise plant guide when the landscape plans are developed to ensure that vegetation is utilized that is well suited to the Greeley micro-climate.

Objective PR-2.4 Stormwater Management

Incorporate stormwater management and other low-impact development features into the design of parks, trails, and other recreational facilities, as possible.

In many instances storm water management will be integrated into the parks and/or adjacent open space systems. These areas will also be utilized for enhanced trail connectivity within the community.

Objective PR-2.5 Education & Interpretation

Pursue opportunities to integrate educational or interpretive experiences into Greeley's parks, trails, and recreational facilities.

Interpretive signage may be provided within the park system and along the Bluffs.

PUBLIC SAFETY

Goal PS-1: Minimize loss of life and property from hazards.

Objective PS-1.3 Steep Slopes

When possible, natural slopes in excess of fifteen percent should not be developed. When such development occurs, it shall comply with all hillside development regulations in order to ensure soil and structure stability and safety.

The vast majority of slopes in excess of fifteen percent will be included within the Bluffs preservation area, thus ensuring soil and structural stability and safety.

Goal PS-3: Develop and maintain a safe, aesthetically pleasing, and livable community.

Objective PS-3.1 Urban Design

Enhance public safety through the use of public improvements, urban design, street furniture, lighting, and other features of the built environment.

When final design detailing occurs, attention will be paid to features of the built environment that enhance public safety within Lake Bluff.

Objective PS-3.4 Signage and Lighting

Enhance public safety through the use of signage, information kiosks, lighting and other means to inform and direct the public to destinations in a straightforward and efficient manner.

When final design detailing occurs, attention will be paid to signage and lighting to enhance public safety within Lake Bluff.

Objective PS-3.5 Safe Built Environment

Support development patterns that foster constructive interactions with others to promote the opportunity for neighbors and businesses to mutually support common neighborhood interests such as hazard and crime prevention.

Lake Bluff is proposing development patterns that foster community interaction through elements such as park and school placement which allow "eyes on the park", as well as the ability for the inclusion of alley loaded product with front porches and living spaces to improve daily interactions throughout the community.

TRANSPORTATION & MOBILITY

Goal TM-1: Develop and maintain an accessible, integrated, safe, and efficient transportation system.

Objective TM-1.1 Multi-Modal Transportation System

Design, construct, and maintain a multi-modal transportation system that:

- Meets the unique needs of each mode of travel;
- Integrates all modes of travel into a comprehensive system;
- Ensures that the system provides efficient links between each mode of travel;
- Provides networks for pedestrians and bicyclists that are equal in priority, design and construction to the system provided to motorists;
- Is accessible, safe, and inviting to all members of the community; and
- Anticipates future modes of travel, such as autonomous vehicles.

The street sections utilized in Lake Bluff include bike lanes on the collectors and arterials and detached sidewalks throughout. Additionally, off street trails are being incorporated to ensure safe and efficient connectivity throughout the community for pedestrians, cyclists and motorists alike.

Objective TM-1.2 Pedestrian Movements

Ensure pedestrian movement and accessibility is considered in the design and construction of all public and private development projects. Ample and safe sidewalks and other pedestrian pathways within and between developments should be provided.

Detached sidewalks will be provided along all streets within the development, and these will be supplemented with off street trail connections in strategic locations to ensure ample connectivity throughout Lake Bluff.

Objective TM-1.3 Streetscape Design

Develop attractive, safe, accessible, and efficient public rights-of-way, including roadways and sidewalks. The design of such rights-of-way should vary depending on the modes accommodated, the surrounding land uses, and the character of the area or neighborhood through which it passes.

We are using a hierarchical system of roadways to serve the community. This system of roadways includes the use of detached sidewalks and in some cases dedicated bike lanes. These roadways are designed to serve the surrounding land uses by providing a safe and efficient way to enter and move through the community, and to connect to adjacent properties and the greater roadway system.

Objective TM-1.4 Traffic Calming

Support the use of traffic calming methods that prevent accidents and improve safety for all users.

The applicant will continue to coordinate with the City on the possible inclusion of traffic calming methods at key locations within the community.

Objective TM-1.8 Functional Classifications

Maintain a roadway system that encourages the use of arterial streets for cross-town and regional traffic, the use of collector streets to channel traffic from the neighborhoods to arterial streets, and discourages the use of local streets for through-traffic.

We are using a hierarchical system of roadways to serve the community. This system of roadways will promote the use of arterials and collectors for cross town travel and discourage the use of local roadways for through traffic.

Objective TM-1.13 Street Patterns

Promote street and pathway patterns and configurations that foster interconnectivity between subdivisions and commercial development in order to move all users in direct routes and limit extraneous travel on collector and arterial streets.

Our street design fosters inter connectivity by encouraging users to take direct routes between subdivisions and commercial development, limiting the need to take extraneous travel on collector and arterial streets.

PUD Variances from Municipal Code

Within the Lake Bluff Preliminary Planned Unit Development Plan, we are proposing some development standards that vary from those comparable elements within the City of Greeley's standard zoning code. We believe that these deviations will enhance the overall feel of the community, while providing attractive alternatives to standard development, as part of the City. We are keeping these deviations to a minimum because the City of Greeley has substantial standards in place to guide development, and we are trying to supplement them, as opposed to reinventing them.

In preparing this Lake Bluff Preliminary PUD we have identified the following variances from the City of Greeley municipal code.

18.32.040 - Standards for PUD establishment

(a) Land area shall be zoned as a Planned Unit Development only upon the application of all landowners of the area, and only if the City Council, after considering Planning Commission recommendations, has concluded on the basis of a Preliminary Plan submitted by the landowner that the area will be suitable for development pursuant to a PUD Plan.

This preliminary PUD application does not require a waiver from this standard, as the application is being made by the sole owner of the property, Greeley Rothe, LLC. However, we have included a provision within the PUD, as note (M) Amendments to Approved Plans in the General Provisions on sheet 5, that

represents a variance from this section of code. This request is in anticipation of an amendment(s) being needed on this PUD at some point in the future, when it will not be feasible to have all landowners on the application for such an amendment, after hundreds of residents are living in Lake Bluff. As such, we have included within note (M) the provision that all of these property owners within Lake Bluff, as well as adjacent owners within 500', shall be notified of any pending applications. In this regard, when amendments are ultimately needed to this PUD, Greeley Rothe, LLC (or assigns) will be permitted to process amendments to it with all affected property owners being notified and invited to partake in the public process as is typical.

18.32.090 - Preliminary Plan submittal and required information.

City staff has informed the applicant that the PUD section refers to plans found within a preliminary plat, however we do not see any reference to the plat within this section.

While it seems unclear, given staff's direction, whether a preliminary plat is technically required in conjunction with the preliminary plan PUD or not, the applicant is requesting that the preliminary PUD be reviewed without an accompanying preliminary plat. We are proceeding in this fashion so that the zoning document can be approved to allow for the Metropolitan District to issue bonds for the funds needed to begin design and construction of off site infrastructure. Once this occurs, more detailed design work will be started for the first phase, including the plat, civil CDs, landscape plans, etc.

As discussed with staff, certain civil engineering elements requiring more detailed design work will be provided with the civil construction documents, as opposed to on the preliminary utility plans included with this PUD. These include: minimum and maximum sidewalk grades, proposed easements and hydrant locations, finalization of all proposed improvements within the public right-of-way, final culvert sizing for developed flows, a design level geotechnical analysis.

Similarly, we are not submitting preliminary architectural elevations within the preliminary PUD since no builders are contracted for the project as of yet. Alternatively we have included some sample architectural imagery and expanded architectural standards with the PUD to ensure that quality development is being provided. Specific architectural elevations will be included in the Final PUD when actual architectural product is determined.

18.40.090 - Architectural Review Standards

(10) All buildings shall be designed and maintained using the following building elements, with a minimum of one (1) selected from four (4) of the five (5) groupings below:

As can be seen here, the City of Greeley code requires builders choose at least 4 building elements from a list of 16 options for multi-family and townhomes. The proposed PUD requires builders of townhomes and duplexes to provide 6 building elements from 31 options. Similarly, single family detached home builders are required, per the proposed PUD, to incorporate at least 6 building elements from a list of 37 items. While this is a variance from the code, it is in fact an enhancement that is more strict than the City code. Additionally, this gives builders flexibility, allowing for increased architectural diversity, while maintaining a high standard of design over and above what is required in the code.

18.38 - Zoning District Development Standards

Residential Development Standards:

As this is a PUD, the land use designations do not directly match up with those listed in the City of Greeley code. We are creating distinct zone districts for Lake Bluff with applicable standards for each one. As such, there is not a direct, apples to apples comparison by which to determine variances. However, the zoning designations that most closely match the residential zoning is R- L for the detached product and R-M or R-H for the attached product. Our land use designations allow for smaller lot sizes, frontages and setbacks than what is required in the R-L, R-M & R-H zoning. These variances provide for the inclusion of smaller yards, that are desirable for certain demographics for their reduced maintenance obligations and they also provide the ability to offer more attainable home prices which are obviously desirable within the marketplace. Additionally, we have included provisions to allow for both alley loaded and front loaded product, to bring potential further product diversity to the Lake Bluff community. With the inclusion of alley loaded product,

comes a different range of setbacks due to the distinct nature of the development from traditional front loaded architecture.

18.38 - Zoning District Development Standards (con't)

Non-Residential Development Standards:

Similar to the residential scenario, we are proposing distinct zone district classifications within the Lake Bluff PUD. As with the residential scenario, the non-residential land use designations do not directly match up with those listed in the City of Greely code. However, the zoning designations of C-L Low Intensity and C-H High Intensity approximate our mixed use commercial zone districts. Our PUD proposes maximum FARs of 0.35 in the MU/CL district and 0.50 in the MU/CH district. While the code doesn't contain maximum floor area ratios, it does have a maximum lot coverage of 80% allowed. With the proposed FARs at Lake Bluff, we will inherently be providing a lower lot coverage percentage than this. Additionally, we are also proposing an increase in allowed building height from 30' (C-L) and 40' (C-H) to 40' (MU/CL) to 50' (MU/CH), to allow for more realistic integration of a vertical mix of uses if the market desires this type of development within the community. Lastly, we are also proposing modified setbacks increasing the setbacks in some instances and reducing them in others to provide more certainty in the relationship between different uses, as well as the ability to front commercial buildings closer to certain streets as a means of reducing the impact of parking on those street frontages.

Attachment C

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Lake Bluff

Preliminary Planned Unit Development Plan - Zoning

Attachment D



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cover sheet
sheet 1
January 9, 2020
53

project site background

The Lake Bluff Preliminary Planned Unit Development Plan provides land use regulations and standards for the design and development of the community comprising approximately 295 acres. The community is generally situated north of 10th Street (Hwy. 34 Bypass) with 95th Ave. running north along the Eastern edge of the community. Main access points to Lake Bluff from 10th Street will be located at 95th Ave and 101st Ave. On the North side, the community boundary is defined by the Poudre River Bluffs.

conceptual narrative

The information presented in the accompanying package will demonstrate that the Lake Bluff community will:

- Provide a mix of land uses and connectivity consistent with comprehensive plan policies;
- Provide a community amenity in the form of neighborhood parks and open space, with potential for connection to the Poudre Regional Trail System;
- Promote the implementation of the City's Comprehensive Plan, and long range planning;
- Preserve substantial open space of regional value in the form of the Poudre River Bluffs in perpetuity; and
- Help enable the Promontory office park to continue to attract additional employers and help the existing employers by providing an excellent master-planned community for their employees across the street.

The Lake Bluff community will contain a mix of uses and tax base generation through the incorporation of mixed-use commercial zoning at the intersection of W. 10th Street and 95th Avenue, as well as W. 10th & 101st Ave, and 95th Ave and the 4th St. extension. It is anticipated that this commercial zoning will provide much needed Neighborhood Commercial for both the Lake Bluff project and surrounding neighborhoods such as Promontory, which are lacking in this regard.

Further, the Lake Bluff community will provide a master planned community capable of supporting most of the residential needs of major employers in and to the west of Greeley. Lake Bluff will include a mix of residential types ranging from Multifamily Attached units to large Single Family Detached homes and lots, and will do so in a fashion that encourages diversity and enhancement of the socioeconomic mix that will inevitably be present.

Development Code Standards, and Code Standards as amended shall prevail if PUD standards do not apply

zoning

The current zoning on the property is P.U.D.

The uses proposed for the project consist of a mix of residential; commercial and a school. At the Master Plan level, PUD zoning will be utilized to define parcels and their associated uses. Allowable residential unit densities are defined for each parcel within the land use chart included herein. Units not constructed within any given parcels can be transferred into other land use parcels in support of mixed use strategies. There are no minimum unit requirements on a given parcel. In no event shall the maximum unit count of 1,150 units be exceeded at Lake Bluff without an amendment of the PUD and supporting documentation.

environmental consultant



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PROPERTY BOUNDARY MAP

PART OF THE E 1/2 OF SECTION 1, T5N, R67W, 6TH P.M., CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO

AS-MEASURED PERIMETER DESCRIPTION:

A TRACT OF LAND SITUATED IN THE EAST HALF (E1/2) OF SECTION ONE (1), TOWNSHIP FIVE NORTH (T.5N), RANGE SIXTY-SEVEN WEST (R.67W), OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.), CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SECTION 1 IN TOWNSHIP FIVE NORTH (T.5N), RANGE SIXTY-SEVEN WEST (R.67W), OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.) AND ASSUMING THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1 AS BEARING SOUTH 87°33'22" WEST A DISTANCE OF 2583.95 FEET AND WITH ALL BEARINGS HEREIN RELATIVE THERETO;

THENCE ON THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE¼) OF SAID SECTION 1 SOUTH 87°33'22" WEST A DISTANCE OF 1216.95 FEET;

THENCE NORTH 26°36'20" WEST A DISTANCE OF 165.09 FEET TO THE WEST LINE OF THE EAST HALF (E½) OF THE SOUTHEAST QUARTER (SE¼) OF SAID SECTION 1;

THENCE ON SAID WEST LINE NORTH 00°22'27" EAST A DISTANCE OF 199.55 FEET TO THE MOST SOUTHEASTERLY CORNER OF SAID TRACT 1 OF JACKSON SUBDIVISION;

THENCE ON THE SOUTHERLY BOUNDARY OF SAID TRACT 1 THE FOLLOWING FOUR (4) COURSES;

1. SOUTH 87°32'32" WEST A DISTANCE OF 133.64 FEET;
2. NORTH 03°35'25" WEST A DISTANCE OF 43.50 FEET;
3. SOUTH 87°32'28" WEST A DISTANCE OF 705.52 FEET;
4. SOUTH 03°20'55" EAST A DISTANCE OF 347.26 FEET TO THE NORTHEAST CORNER OF A PARCEL DESCRIBED IN A DEED RECORDED AS RECEPTION NO. 3516969;

THENCE ON THE NORTH LINE OF SAID PARCEL SOUTH 89°51'20" WEST A DISTANCE OF 470.39 FEET TO THE WEST BOUNDARY OF SAID TRACT 1 OF JACKSON SUBDIVISION;

THENCE ON THE WEST AND NORTH BOUNDARY OF SAID TRACT 1 THE FOLLOWING FIVE (5) COURSES:

1. NORTH 01°41'15" EAST A DISTANCE OF 2694.74 FEET TO THE CENTER QUARTER CORNER OF SECTION 1;
2. NORTH 01°41'06" EAST A DISTANCE OF 2539.17 FEET;
3. NORTH 82°08'59" EAST A DISTANCE OF 959.07 FEET;
4. NORTH 04°44'18" EAST A DISTANCE OF 72.48 FEET TO THE NORTH LINE OF THE NORTHEAST QUARTER (NE¼) OF SAID SECTION 1;

5. SOUTH 87°19'51" EAST A DISTANCE OF 215.02 FEET ON THE NORTH LINE OF THE NORTHEAST QUARTER (NE¼) OF SAID SECTION 1 TO THE EAST SIXTEENTH CORNER OF SECTION 1, TOWNSHIP 5 NORTH (T.5N) RANGE 67 WEST (R.67W) AND SECTION 36, TOWNSHIP 6 NORTH (T.6N) RANGE 67 WEST (R.67W);

THENCE ON THE NORTH LINE OF THE NORTHEAST QUARTER (NE¼) OF SECTION 1 SOUTH 87°19'32" EAST A DISTANCE OF 1164.75 FEET TO THE NORTHEAST CORNER OF SECTION 1;

THENCE ON THE EAST LINE OF SECTION 1 FOR THE FOLLOWING TWO (2) COURSES:

1. SOUTH 00°58'44" EAST A DISTANCE OF 2663.07 FEET TO THE EAST QUARTER CORNER OF SECTION 1;
2. SOUTH 00°59'10" EAST A DISTANCE OF 2663.04 FEET TO THE POINT OF BEGINNING;

THE ABOVE DESCRIBED PARCEL CONTAINS 294.635 ACRES.

BASIS OF BEARING:

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 1, T5N, R67W BEARS S87°33'22"W FOR 2583.95 FEET BETWEEN THE SOUTHEAST CORNER OF SECTION 1, MONUMENTED WITH A 2 3/8" ALUMINUM PIPE WITH A 3 1/4" ALUMINUM CAP, PLS 25381, 2010, AND THE SOUTH QUARTER CORNER OF SECTION 1, MONUMENTED WITH A 2 3/8" ALUMINUM PIPE WITH AN ILLEGIBLE 3 1/4" ALUMINUM CAP, BASED ON THE (NAD83) COLORADO NORTH OSO1 STATE PLANE COORDINATE SYSTEM.

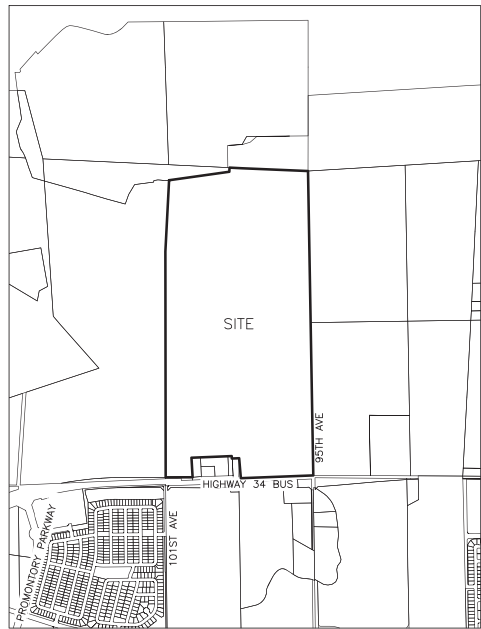
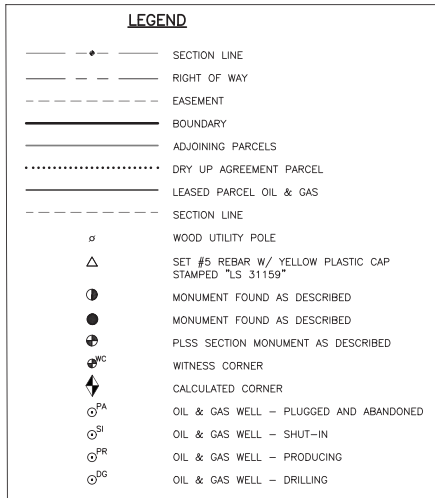
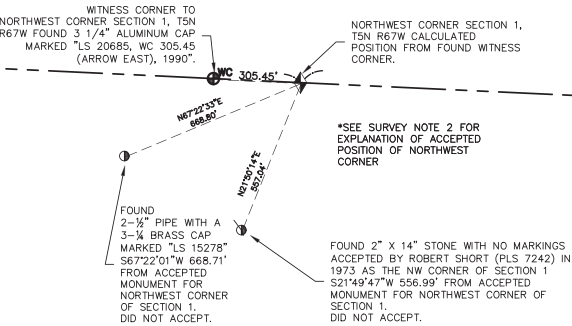
SURVEYOR CERTIFICATE

I HEREBY CERTIFY THAT THIS PROPERTY BOUNDARY MAP OF PART OF THE EAST HALF OF SECTION 1, T5N R67W, WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF COLORADO.

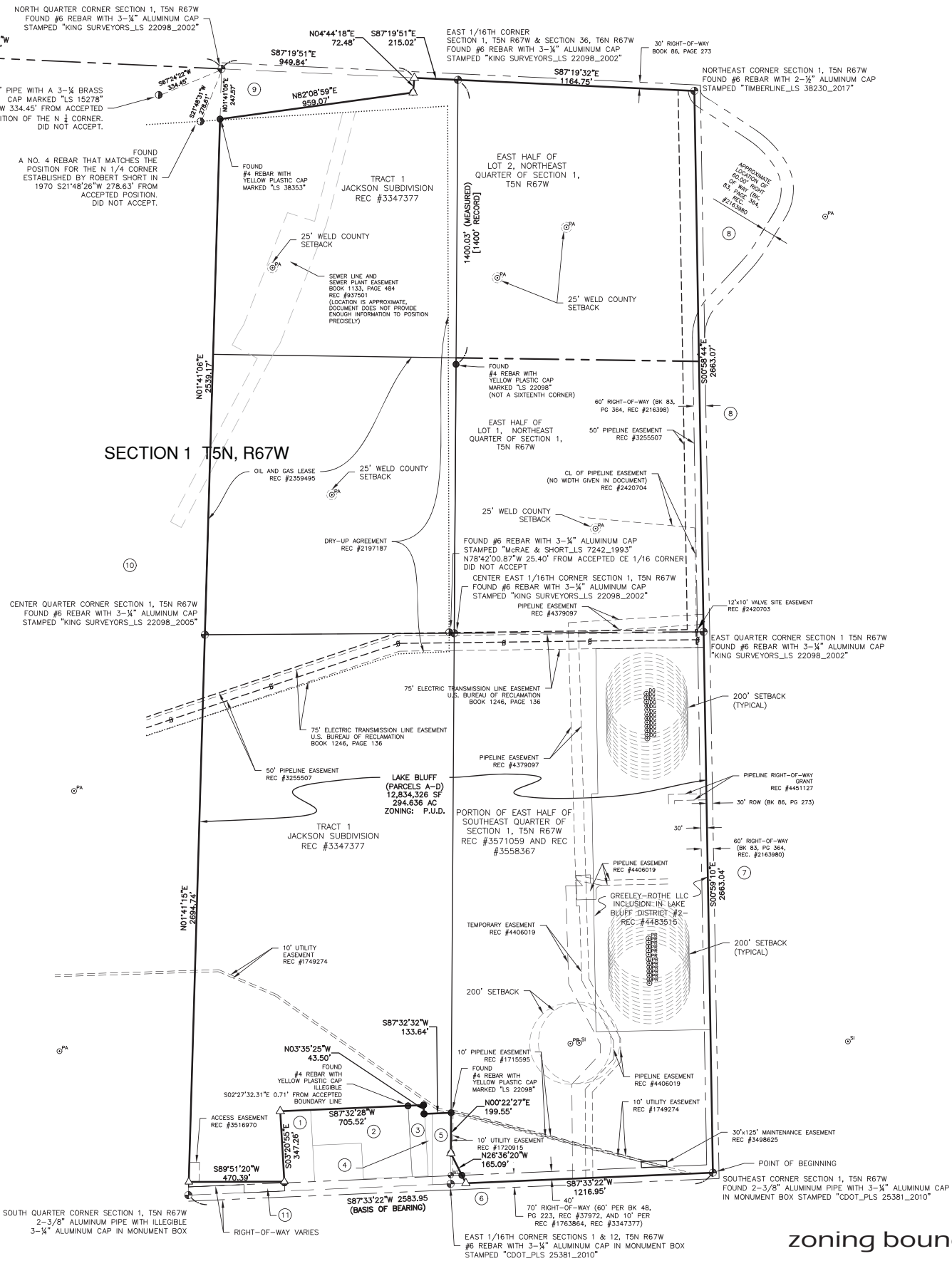
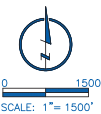
LAINIE A. LANDAU COLORADO PLS 31159
ON BEHALF OF LAMP RYNEARSON & ASSOCIATES, INC.
EMAIL ADDRESS: LAINIE.LANDAU@LAMPRYNEARSON.COM

OWNERS OF ADJOINING PARCELS

1. 9955 10TH STREET
HAMDEH ABDOLMOHAMMADZADEH AND ZANDI AZIZ
REC NO. 3379896
2. 9873 10TH STREET A
EVA KRISTINA EHRENFUCHT REVOCABLE TRUST
REC NO. 4035561
3. 9851 10TH STREET
JOSEPH E. MALLARD
REC NO. 4444887
4. OWNER UNKNOWN
5. 9825 10TH STREET
MARY L. OHLMANN
REC NO. 3688550
6. GREELEY-ROTHE LLC
BOOK 408 PAGE 230
7. 9333 10TH STREET
ED ORR AND SUSIE ANN ORR
REC NO. 4200718
8. 9333 10TH STREET
ED ORR AND SUSIE ANN ORR
REC NO. 4074028
9. 9955 10TH STREET
ED ORR AND SUSIE ANN ORR
REC NO. 3403871
10. 10925 HW 257 SPUR GREELEY
DPR GREELEY LLC (43.89%)
ALU'S RENTALS LLC (35.11%)
POUDRE BAY CAPITAL LLC (11%)
POUDRE BAY PARTNERS LLC (10%)
REC NO. 4369421
11. CO DEPT OF TRANSPORTATION
REC #3516969



VICINITY MAP



zoning boundary map





sheet 2

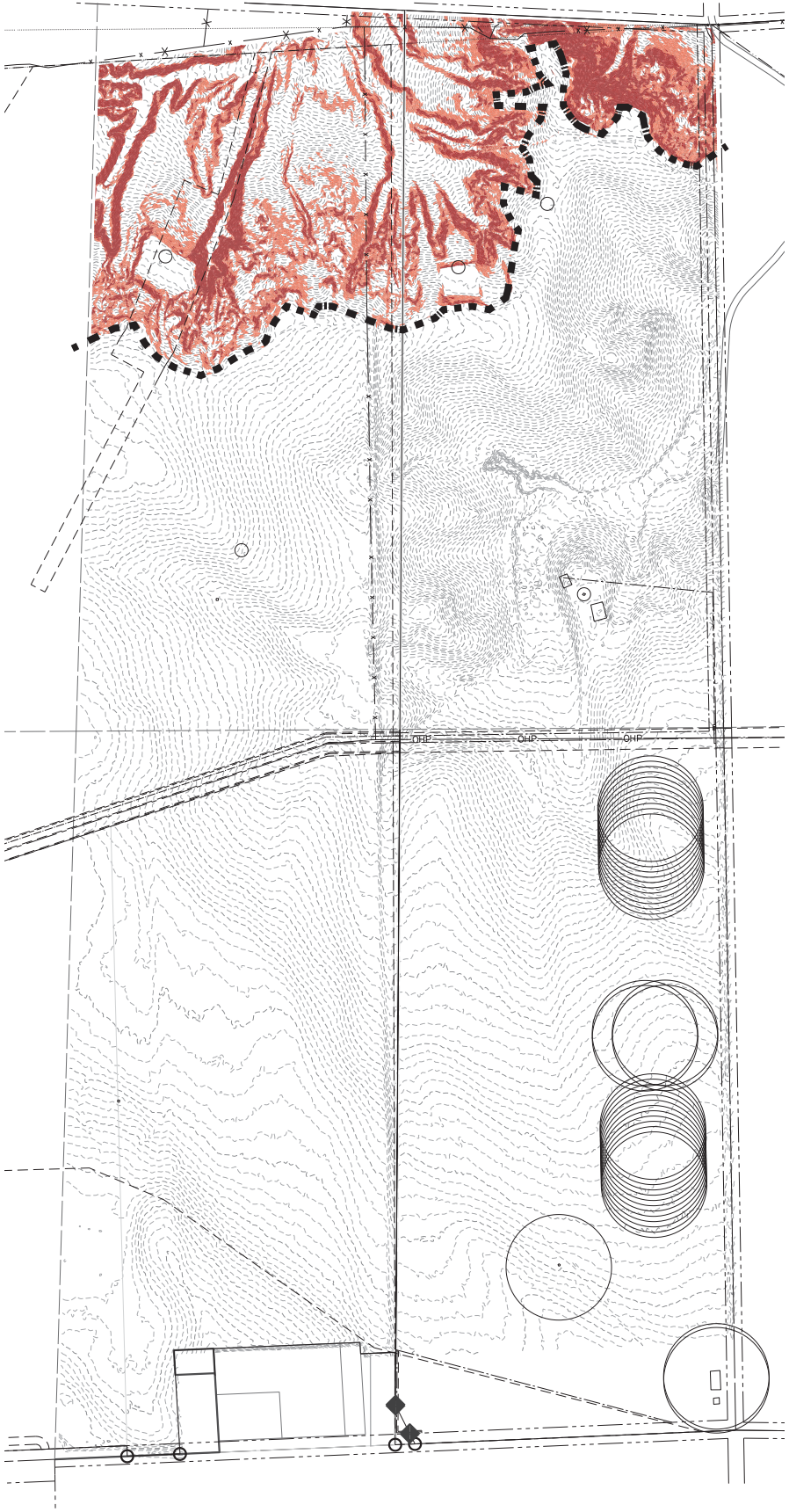
January 9, 2020

BENCHMARK:
DISK IN TOP OF CONCRETE MONUMENT STAMPED NN 169
1960, LOCATED NEAR THE INTERSECTION OF HIGHWAY 257
AND HIGHWAY 257 SPUR. ELEVATION 4884.32 (NAVD 1988
DATUM)

NOTE:
FOR PROPERTY BOUNDARY LINE BEARING AND LENGTH
INFORMATION, REFER TO THE PROPERTY BOUNDARY MAP
SHEET NUMBER 2 IN THIS SET.

Qualifying Slopes

SYM	DESCRIPTION
	Slopes Under 15%
	Slopes 15%-25%
	Slopes Over 25%
	Approximate Top of Bluffs



The slope map is depicting Qualifying Slopes as defined within the general provisions on sheet 5 of this P.U.D., and is based upon GIS topography provided by the City of Greeley. A survey will be performed an more current topography will be utilized to determine actual Qualifying Slopes at the time of final P.U.D. and preliminary plan.



Proposed Land use Chart

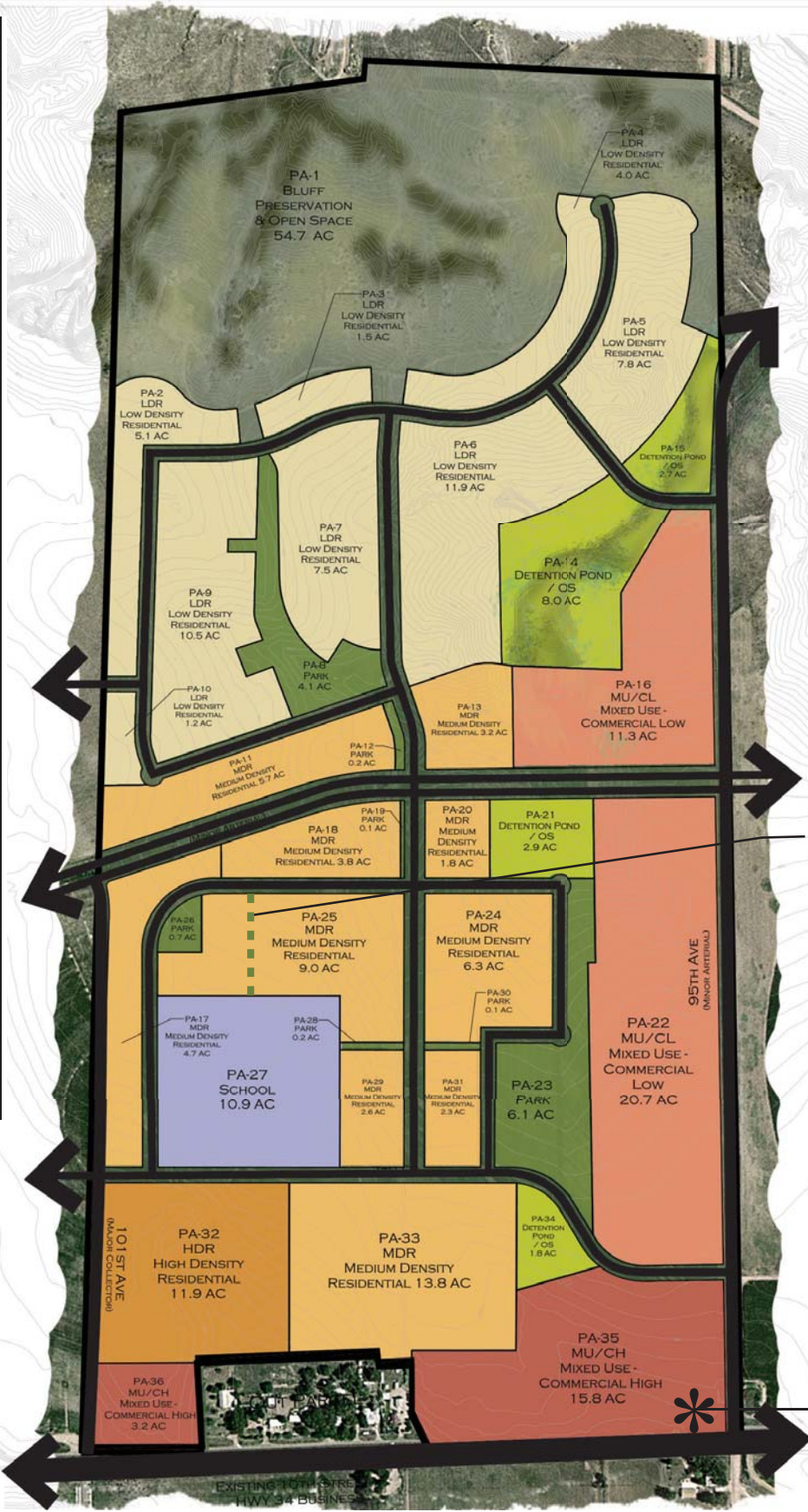
PUD Submittal Plan							
Land Use Chart							
Parcel	Acreage	Unit Range	Zoned Density (DU/Ac)	Maximum Unit Cap	Maximum Density	Max F.A.R	% of Site
Lake Bluff Property							
PA-2 - LDR - Low Density Residential	5.1	15 - 25	3 - 5	25	4.9		1.7%
PA-3 - LDR - Low Density Residential	1.5	4 - 7	3 - 5	7	4.7		0.5%
PA-4 - LDR - Low Density Residential	4.0	12 - 20	3 - 5	20	5.0		1.4%
PA-5 - LDR - Low Density Residential	7.8	23 - 39	3 - 5	39	5.0		2.6%
PA-6 - LDR - Low Density Residential	11.9	48 - 71	4 - 6	71	6.0		4.0%
PA-7 - LDR - Low Density Residential	7.5	30 - 45	4 - 6	45	6.0		2.5%
PA-9 - LDR - Low Density Residential	10.5	42 - 63	4 - 6	63	6.0		3.6%
PA-10 - LDR - Low Density Residential	1.2	4 - 7	4 - 6	7	5.8		0.4%
PA-11 - MDR - Medium Density Residential	5.7	22 - 46	4 - 8	46	8.1		1.9%
PA-13 - MDR - Medium Density Residential	3.2	12 - 26	4 - 8	26	8.1		1.1%
PA-17 - MDR - Medium Density Residential	4.7	18 - 38	4 - 8	38	8.1		1.6%
PA-18 - MDR - Medium Density Residential	3.8	19 - 38	5 - 10	38	10.0		1.3%
PA-20 - MDR - Medium Density Residential	1.8	9 - 18	5 - 10	18	10.0		0.6%
PA-24 - MDR - Medium Density Residential	6.3	31 - 63	5 - 10	63	10.0		2.1%
PA-25 - MDR - Medium Density Residential	9.0	45 - 90	5 - 10	90	10.0		3.1%
PA-29 - MDR - Medium Density Residential	2.6	13 - 26	5 - 10	26	10.0		0.9%
PA-31 - MDR - Medium Density Residential	2.3	11 - 23	5 - 10	23	10.0		0.8%
PA-33 - MDR - Medium Density Residential	13.8	110 - 207	8 - 15	207	15.0		4.7%
Sub-total Single Family Attached/Detached Lots	102.7	468 - 852					43.0%
PA-32 - HDR - High Density Residential	11.9	178 - 298	15 - 25	298	25.0		4.0%
Sub-total Other Residential Parcels	11.9	178 - 298					4.0%
Sub-total of all Residential Parcels	114.6	646 - 1150		1150	10.0		46.8%
PA-16 - MU/CL - Mixed Use Commercial Low	11.3					0.35	3.8%
PA-22 - MU/CL - Mixed Use Commercial Low	20.7					0.35	7.0%
PA-35 - MU/CH - Mixed Use Commercial High	15.8					0.50	5.4%
PA-36 - MU/CH - Mixed Use Commercial High	3.2					0.50	1.1%
PA-27 - Elementary School	10.9						3.7%
Sub-total Non-Residential Parcels	61.9						21.0%
Sub-total of Development Parcels	176.5						
PA-1 - Bluff Preservation & Open Space	54.7						18.6%
PA-8 - Park	4.1						1.4%
PA-12 - Park	0.2						0.1%
PA-19 - Park	0.1						0.0%
PA-23 - Park	6.1						2.1%
PA-26 - Park	0.7						0.2%
PA-28 - Park	0.2						0.1%
PA-30 - Park	0.1						0.0%
Sub-total of Parks & OS Parcels	66.2						22.5%
PA-14 - Detention	8.0						2.7%
PA-15 - Detention	2.7						0.9%
PA-21 - Detention	2.9						1.0%
PA-34 - Detention	1.8						0.6%
Sub-total of Detention Ponds	15.4						5.2%
Road Right-of-Way (outside of PA areas)	36.5						12.4%
Sub-total R.O.W.	36.5						12.4%
Property Total	294.6	646 - 1150					100%

Density & Open Space Calculations

Total Maximum Unit Count	1150
Total Residential Acreage	114.6
Residential Density	10.0
Parks and Open Space Acreage	66.2
Total Residential Acreage	114.6
Open Space as a Percentage of Residential Area	58%



land use plan
scale: nts



The acreage, proposed uses, residential densities and floor area ratios (FARs) have been identified for each planning area. Planning area acreages shall be allowed to change by up to 20% as neighborhood designs are finalized, without the need to amend this PUD. (A range of unit counts for each parcel are defined in the land use chart. The goal of defining a range of different densities on parcels is to promote creativity and flexibility within the residential component of the Lake Bluff community), while still providing a relative transition of density from the commercial areas in the South to the more sensitive Bluff and open space areas to the North. Residential units that are not utilized within a defined parcel can be transferred into other land use parcels up to the maximum allowable density on the receiving parcel. There are no minimum unit requirements on a given parcel. In no event will a total unit count of 1,150 units be exceeded at Lake Bluff without an amendment of the PUD and supporting documentation.

general provisions

A. Conformance
Development of this planned community shall conform to all restrictions, regulations and procedures adopted by Ordinance by the City of Greeley, at the time of platting and building permit application, except as expressly provided otherwise in this Planned Unit Development Plan (PUD).

The provisions of this PUD shall prevail and govern the development of this planned community, except where the provisions of the PUD do not clearly address a specific subject. For subjects not addressed herein, the appropriate jurisdictional regulations and codes shall take precedence, and the most restrictive standards, and code standards as amended shall apply.



- B. Effect of the City of Greeley Zoning Ordinance**
The provisions of this PUD shall prevail and govern the development of Lake Bluff provided; however, where the provisions of the PUD do not address a specific subject, the provisions of the City of Greeley Zoning Ordinance or any other applicable ordinances, resolutions or regulations of the City of Greeley Development Code standards, and code standards as amended, shall prevail.
- C. Density Variations**
In no event shall the total number of 1,150 residential Dwelling Units within all Land Use Parcels as set forth in the Planned Unit Development Plan for Lake Bluff be exceeded. The total number of Dwelling Units actually developed in a Land Use Parcel may be less than the number established on the Planned Unit Development Plan. Remaining units may be transferred to other parcels in whole or in part, in support of the mixed-use concept. Any residential Land Use Parcel may contain up to the maximum density allowed for the receiving parcel as set forth in the Planned Unit Development Plan and as determined by the Developer, without the need to amend this PUD.
- In support of a mixed use concept, and for parcels zoned Commercial, dwelling units may be transferred in at the Site Plan stage up to a maximum density of 25 Du/Ac. This increase in the number of permitted Dwelling Units within a commercial Land Use Parcel may be accomplished through a transfer of Dwelling Units from any other Land Use Parcel administratively.
- D. Land Use Parcel Boundaries**
Parcel boundaries are shown on the PUD, and are generally determined by their relationship to roads, open space and adjacent land uses. Modifications in Land Use Parcel boundaries and streets are permitted and will occur with planning and engineering refinement. Final parcel boundaries and road alignments shall be determined and shown on a Final PUD, Site Plan or Plat, without any amendment to the PUD being required; provided the changes in the Land Use Parcel area do not exceed 20 percent of the defined parcel.
- E. Construction Standards**
Construction shall comply with applicable provisions of the International Building and Mechanical Code, the National Electrical Code, the Colorado Plumbing Code, and other such Codes and the successors thereof, setting for the construction standards as promulgated by the International Conference of Building Officials or other standards-establishing bodies, as are adopted by the City of Greeley.
- All future build out shall meet all applicable City of Greeley Codes, Ordinances, Resolutions, Design Criteria, etc. It is also hereby understood that all future build out is subject to additional future City of Greeley reviews and comments prior to final approval and/ or acceptance.

- F. Underground Utility Requirements**
All new electrical and communications distribution lines shall be placed underground. All new transmission lines shall be underground unless same cannot be accomplished by direct burial.
- G. Soil Tests**
Soil tests for building sites shall be provided at the time of building permit application for the purpose of establishing engineering criteria for building foundation design.
- H. Homeowner Associations**
Homeowner Associations (HOAs) composed of property owners in residential areas may be created for the following purposes: a) to provide for the continued development, improvement and maintenance of properties and facilities which it owns or administers, and b) to protect the investment, enhance the value, and control the use of property owned by its members in perpetuity.
- Homeowner’s Associations shall be created in residential areas where common lands or facilities are to be owned and maintained by the Homeowner’s Association.
- I. Metropolitan Districts**
The District is a quasi-governmental agency, separate and distinct from the City, and, except as may otherwise be provided for by State or local law or its Service Plan, its activities are subject to review by the City only insofar as they may deviate in a material matter from the requirements of the Service Plan, the Municipal Code, or the Intergovernmental Agreement. It is intended that the District will provide a part or all of the Public Improvements for the use and benefit of all anticipated inhabitants and taxpayers of the District. The primary purpose of the District will be to finance the construction of District Improvements.
- The District has also been created to provide ongoing operations and maintenance services as specifically set forth in its Service Plan and as may be stated in any applicable Intergovernmental Agreement.
- J. Administrative Changes**
The graphic drawings contained within the Planned Unit Development Plan are intended to depict general locations and illustrate concepts expressed in the narrative provisions of the PUD. They are not intended to be final nor to represent the ultimate build out of Lake Bluff, but rather, they are included to depict potential design solutions that may evolve within the community.
- It is the goal of this PUD to serve as a guiding document for the appropriate build out of the Lake Bluff Community. Given the scale of this project, and the associated timeline it will take to develop, it is essential that this PUD be approved with an understanding of inherent flexibility.
- In granting final plan approval the City shall allow variations for the purpose of establishing:

1. Final road alignments
 2. Final configuration of Lot and tract sizes and shapes;
 3. Final Building envelopes;
 4. Final access and parking locations;
 5. Final parcel definitions;
 6. Final signage / monument design; and
 7. Landscaping adjustments
- K. Hillside Development**
The contiguous bluff area on the northern portion of the property will be preserved in keeping with the City of Greeley Hillside Development Standards and represents approximately 54.7 acres of hillside preservation. Other areas on the property, where slopes over 15% exist, are isolated, not natural and generally related to man-made elements such as farming roads or previous oil and gas infrastructure sites. These isolated areas south of the bluffs will not be considered as qualifying slopes under the Hillside Development Standards and will be allowed to be graded during development, within the land use and open space parcels defined on this PUD.
- L. Roadway Design**
The roadways shall comply with the City’s current roadway standards.
- M. Amendments to Approved Plans**
Major amendments to this Preliminary PUD shall be considered by the City with the subject site property owner acting as the sole applicant. Other property owners within the Lake Bluff Community shall not be required as applicants, nor shall they be required to provide prior approval for the PUD amendment application to proceed. The applicant shall notify all property owners within the Lake Bluff PUD boundaries and the adjacent owners of the proposed PUD amendment(s) under consideration. Notifications to adjacent property owners shall occur 500’ from the subject property.

setting of property

The Lake Bluff property is located generally north of W. 10th Street, and extends from east of 95th Avenue out to 101st Ave to the west. The southern boundary of the property is W. 10th Street.

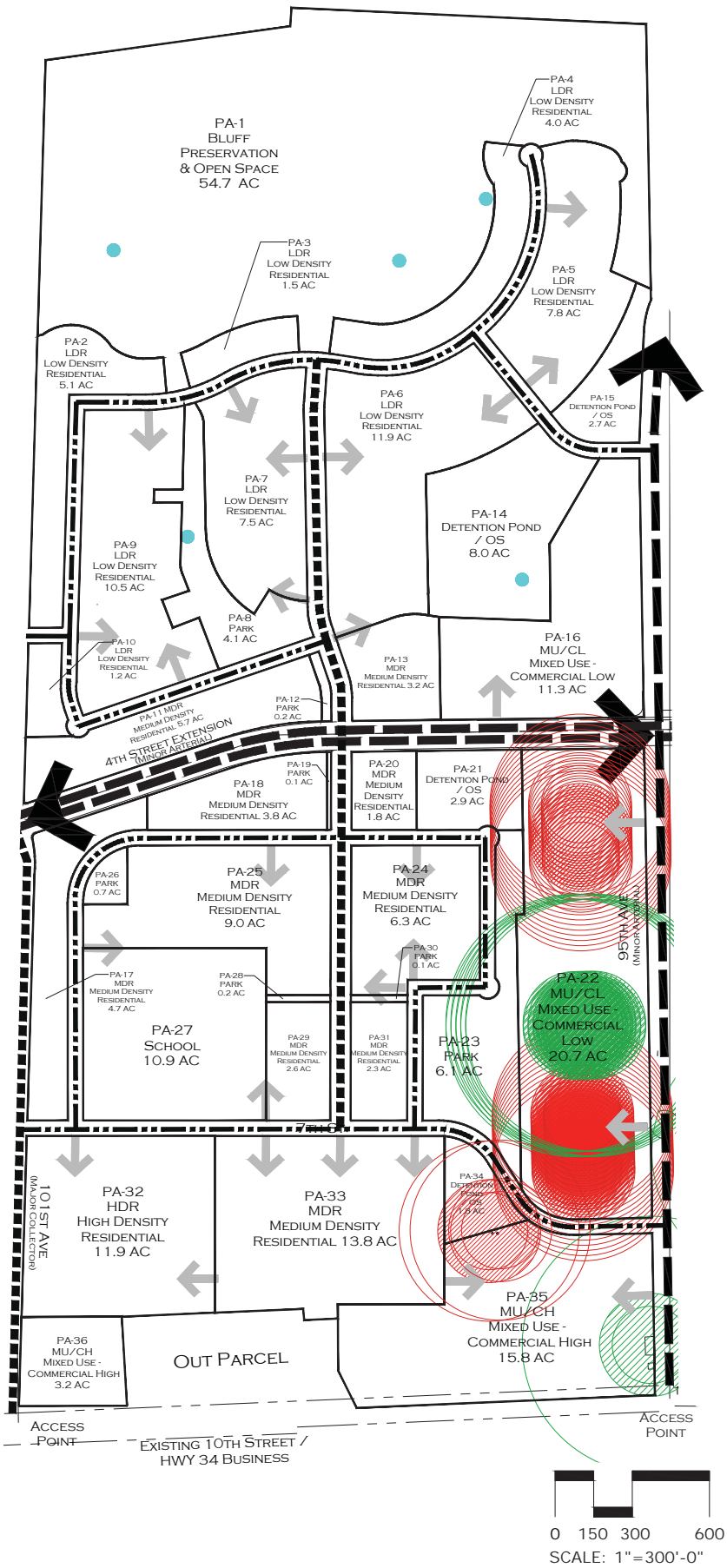
The two main access points to Lake Bluff will occur at 95th Ave. (a 2-lane Minor Arterial) and 101st Ave. (Major Collector), with the extension of 4th Street (a 4-lane Minor Arterial) essentially bisecting the site, in the East West direction. With W. 10th Street, 95th Ave., and W. 4th Street all anticipated to be classified as arterial roadways, this site is well situated for development and extension of infrastructure. The Lake Bluff Metropolitan Districts being formed in conjunction with this application will contain all the land within the project. The District will also be the financing mechanism for extending the infrastructure to the site and construction of trunk infrastructure on site.

The Lake Bluff property is uniquely situated in North West Greeley from two other aspects as well. It is located just after the bend that essentially defines the entrance to the City along the Highway 34 Bypass road. In this regard, the project will serve as a front door to Greeley for any visitors approaching along this route. Also, the Northern boundary of the property is defined by the Poudre River Bluffs, which will be dedicated as open space in perpetuity, and include a trail system with the potential for connection to the Poudre River Trail.



Legend

SYM	DESCRIPTION
	EXISTING WELL LOCATIONS
	ABANDONED AND CAPPED WELL LOCATION
	TANK BATTERY LOCATIONS
	PROPOSED MINOR ARTERIAL
	PROPOSED COLLECTOR (MAJOR OR MINOR)
	PROPOSED MAJOR LOCAL
	PROPOSED ACCESS LOCATION
	25' SETBACK
	350' SETBACK (BUILDINGS OF PUBLIC ASSEMBLY) 200' SETBACK (BUILDINGS) 150' SETBACK (ROADS)
	500' SETBACK (BUILDINGS OF PUBLIC ASSEMBLY) 200' SETBACK (BUILDINGS) 150' SETBACK (ROADS)



LAND USE DESIGNATION MATRIX

LEGEND	
P	Principal Permitted Use
A	Accessory Use
S	Special Review
•	Excluded Use

Land Use / Districts	Zone Category						
	LDR	MDR	HDR	MU/CL	MU/CH	OS	Park
Residential							
Single Family Dwelling Units	P	P	P	P	•	•	•
Duplexes (with minimum lot size of 2,500 sf per unit)	P	P	P	P	•	•	•
Single-family attached dwelling unit including: townhome, cluster development, patio homes	P	P	P	P	P	•	•
Multi-Family Dwellings (can include rental or for-sale units)	•	P	P	P	P	•	•
Boarding & rooming houses, Dormitories, group quarters, etc.	•	S	P	P	P	•	•
Farming	P	P	P	P	P	P	P
Group Homes	•	S	P	P	P	•	•
Assisted Living Facilities	•	S	P	P	P	•	•
Skilled Nursing Facilities	•	S	P	P	P	•	•
Live / work units	•	•	P	P	P	•	•
Institutional							
Child care, day care centers, preschools	S	S	P	P	P	•	•
Churches / synagogues / places of worship	P	P	P	P	P	•	•
Hospitals or other public health facilities	•	•	•	P	P	•	•
Intermediate & Long term care, assisted living units, Group Homes - more than 8 residents	•	S	P	P	P	•	•
Rehabilitation Centers	•	•	•	P	P	•	•
Libraries, museums, public or quasi-public	•	P	P	P	P	P	P
police, fire stations, ambulance dispatch and storage	•	P	P	P	P	•	•
Recreation Buildings - community centers	P	P	P	P	P	P	P
Schools	P	P	P	P	P	•	•
Schools - adult (business, trade)	•	•	•	P	P	•	•
Universities, colleges	•	•	•	S	P	•	•
Recreation							
Community / neighborhood recreation center & associated indoor facilities	P	P	P	P	P	P	P
Community pool facility (indoor / outdoor)	P	P	P	P	P	P	P
Indoor intensive - Ice Arenas, bowling alleys, etc.	•	•	•	P	P	P	P
Membership clubs, health clubs, martial arts studios	•	•	•	P	P	P	P
Open space	P	P	P	P	P	P	P
Open space/pedestrian plazas	P	P	P	P	P	P	P
Outdoor recreation	P	P	P	P	P	P	P
Parks (pocket)	P	P	P	P	P	P	P
Parks (neighborhood)	P	P	P	P	P	P	P
Parks (community)	P	P	P	P	P	P	P
Sports fields - soccer, baseball, football, track & field, etc.	P	P	P	P	P	P	P
Commercial							
24-hour convenience retail operation	•	•	•	P	P	•	•
Administrative and executive offices	•	•	•	P	P	•	•
Animal hospital and veterinary clinic -small animal facilities (no outdoor kennels)	•	•	•	P	P	•	•
Appliance store	•	•	•	S	P	•	•
Appurtenant retail uses	•	•	•	P	P	•	•
Banks, Savings & Loans, financial institutions, ATMs, drive up windows	•	•	•	P	P	•	•
Bars, taverns, lounges, Brew pubs	•	•	•	P	P	•	•
Bed & Breakfasts	•	•	•	P	P	•	•
Big Box, Large format retail	•	•	•	•	P	•	•
Bowling alley, tennis club, skating rink, health club, etc.	•	•	•	P	P	•	•
Call center	•	•	•	•	P	•	•
Car wash and/or auto detailing	•	•	•	S	P	•	•
Wireless Communication Facilities (height and location to be reviewed) *	•	•	•	P	P	•	•
Consulting service offices	•	•	•	P	P	•	•
Convenience commercial stores (with gas sales)	•	•	•	P	P	•	•
Drive through restaurants	•	•	•	P	P	•	•
Dry cleaning (no cleaning on site)	•	•	•	P	P	•	•

Note:
The provisions of this PUD shall prevail and govern the development of Lake Bluff provided; however, where the provisions of the PUD do not address a specific subject, the provisions of the City of Greeley Zoning Ordinance or any other applicable ordinances, resolutions or regulations and Development Code standards as amended shall prevail.

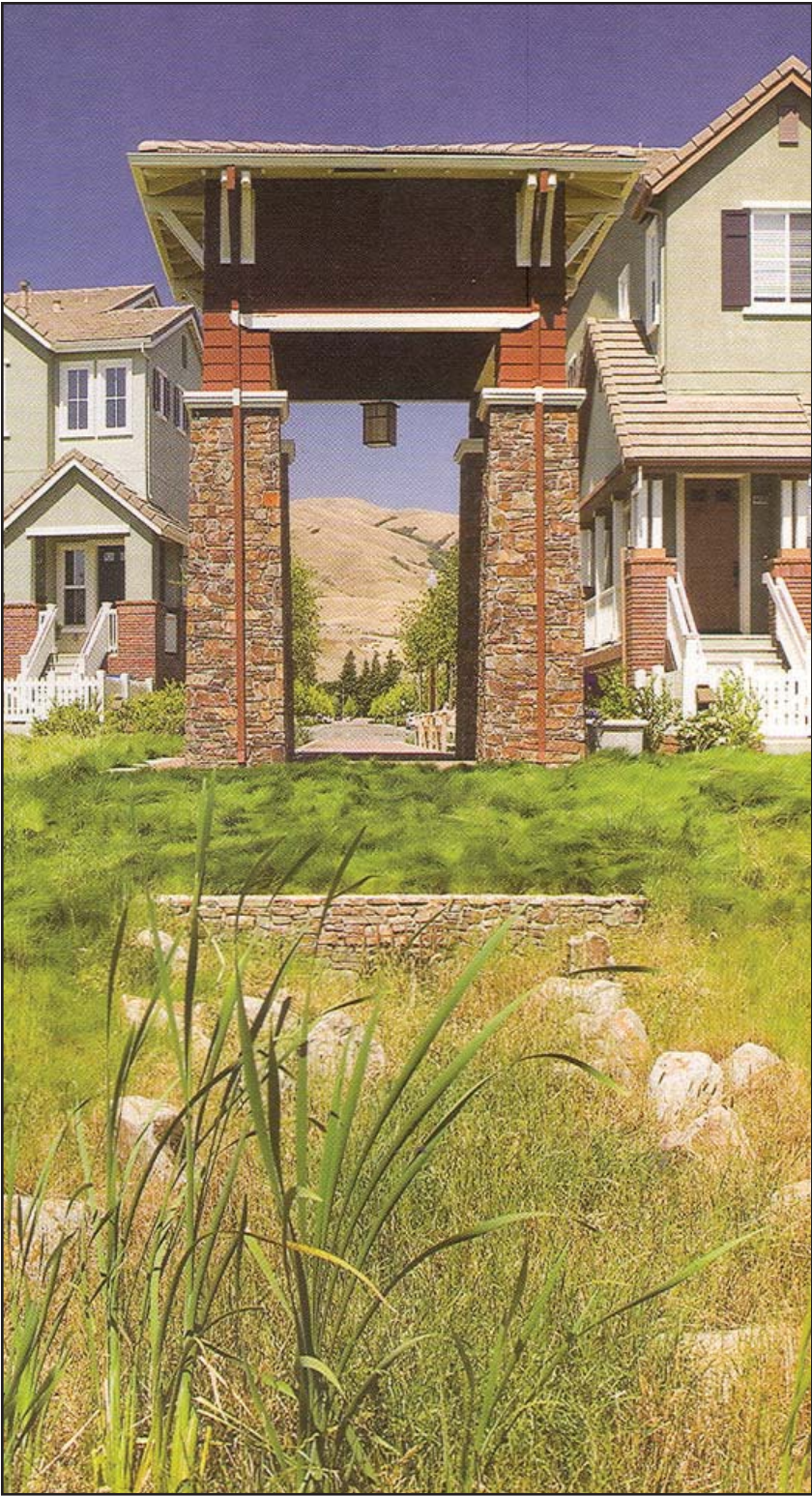
Accessory units not defined within the scope of this Preliminary PUD document or proposed within alternative land use categories shall be governed by the City of Greeley Development Code, as amended.

Any use not listed in the land use designation matrix, shall not be permitted.

Land Use / Districts	Zone Category						
	LDR	MDR	HDR	MU/CL	MU/CH	OS	Park
Commercial							
Entertainment facilities (indoor)	•	•	•	P	P	•	•
Farmers markets - outdoor (no more than 12 times annually for the same establishment)	•	•	•	P	P	P	P
Financial institutions	•	•	•	P	P	•	•
Furniture store (following size restrictions)	•	•	•	P	P	•	•
Gasoline service station, including car wash and small convenience store	•	•	•	P	P	•	•
Gardening (community)	P	P	P	P	P	P	P
General office	•	•	•	P	P	•	•
Greenhouses and nurseries	•	•	•	P	P	•	P
Ground floor retail commercial with multifamily housing or office space located above	•	S	P	P	P	•	•
Hotel / motel	•	•	•	•	P	•	•
Insurance and investment offices, etc.	•	•	•	P	P	•	•
Liquor stores	•	•	•	•	P	•	•
Local retail greenhouses, garden centers or fruit/vegetable stands	•	•	•	•	P	•	•
Medical, dental and small animal veterinary offices	•	•	•	P	P	•	•
Mini-warehouse/self storage/outdoor storage	•	•	•	•	P	•	•
Neighborhood retail uses (ie.dry cleaning, coin operated laundry)	•	•	•	P	P	•	•
New and used car sales and service, boat and trailer rental and sales, automobile	•	•	•	•	P	•	•
Office/Showroom/Warehouse (following size restrictions)	•	•	•	•	P	•	•
Offices	•	•	•	P	P	•	•
Outdoor storage associated with an outdoor retail/commercial use	•	•	•	•	P	•	•
Parking lots & structures	•	•	•	P	P	•	P
Pedestrian plazas or pedestrian malls	P	P	P	P	P	P	P
Personal Service Shops (beauty, barber, tanning, nail salons, shoe repair)	•	•	•	P	P	•	•
Printing, Copying shops, mail & office centers	•	•	•	•	P	•	•
Private lodges and clubs	•	•	•	P	P	•	•
Professional services/offices	•	•	•	P	P	•	•
Public transportation terminals	•	•	•	•	P	•	•
Rental Service (equipment, small tools, supplies, appliances, home furnishings)	•	•	•	•	P	•	•
Repair Shops	•	•	•	•	P	•	•
Restaurants - Cafes & other eating establishments (indoor & outdoor seating)	•	•	S	P	P	•	•
Restaurants - drive-in or drive-thru facilities (with outdoor seating areas)	•	•	•	P	P	•	•
Retail Sales - under 3000 s.f. GFA (one user)	•	•	•	P	P	•	•
Retail Sales - 3000 - 20,000 s.f. GFA (one user)	•	•	•	P	P	•	•
Retail Sales - large retail over 20,000 s.f. GFA (one user)	•	•	•	•	P	•	•
Sales from a movable structure, vacant lot or parking lot	•	•	P	P	P	•	P
Temporary construction offices subject to zoning approval	P	P	P	P	P	P	P
Temporary office subject to zoning approval	P	P	P	P	P	P	P
calendar year, per shopping center subject to zoning approval							
Temporary signage subject to zoning approval	P	P	P	P	P	P	P
Water wells	S	S	S	S	S	S	S
Wholesale business, storage or warehousing	•	•	•	•	P	•	•
Oil and Gas production wells including storage tanks and flowage lines	S	S	S	S	S	S	S

*Per City of Greeley Standards

Legend
LDR = Residential Low
MDR = Residential Medium
HDR = Residential High
MU/CL = Mixed Use / Commercial Low
MU/CH = Mixed Use / Commercial High
OS = Open Space



Open Space Connections are an important component of the Lake Bluff Community that can be utilized for both pedestrian connection, as well as stormwater management opportunities. Such connections shall be permitted within any of the land use parcels at Lake Bluff.

site development standards

Residential Land Use Development Standards Matrix

Single Family Detached Residential		
Standards	MDR	LDR
Minimum Lot Size (1)	3200	4500
Minimum Lot Frontage (5) (7)	35'	45'
Minimum Corner Lot Frontage	45'	55'
Parking Requirement (4)	2 / unit	2 / unit
Max. Height	35'	30'
Floor Area Min.	N/A	N/A
Primary Use		
Front Setback to Living Space (15)	10'	15'
Front Setback to Garage	18'	18'
Front Setback to Side Load Garage	10'	15'
Side Setback Minimum (14)	5'	5'
Side Setback with Access Easement (6)	0'	0'
Building Separation (6)	10'	10'
Rear Setback - Front Load (14)	15'	15'
Rear Setback - Alley Load	4'	4'
Rear Setback - Bluffs (14)	N/A	50'
Side (Corner) Setback (14)	10'	10'
Side (Corner) Setback to Garage Door	18'	18'
Accessory Use (8)		
Max Height	15'	15'
Front Setback	20'	20'
Side Setback	3'	5'
Rear Setback	5'	5'
Rear Setback (alley load garage)	4'	4'
Side (Corner) Setback	15'	15'

Residential Land Use Development Standards Matrix

Single Family Attached Residential (Townhome/Duplex) (9)			
Standards	HDR	MDR	MU/CL
Minimum Lot Size	1200 sf	1200 sf	1200 sf
Lot Frontage (5)	20'	20'	20'
Corner Lot Frontage	30'	30'	30'
Parking Requirement (3) (4)	2 / unit	2 / unit	2 / unit
Guest Parking Requirement (3) (4)	0.25 / unit	0.25 / unit	0.25 / unit
Max. Height	40'	35'	35'
Floor Area Min.	750 SF	900 SF	500 SF
Max. Number of Units Attached	24	16	24
Principal Use			
Front Setback to Living Space (15)	10'	12'	12'
Front Setback to Garage	18'	18'	18'
Side Setback Minimum (14)	5'	5'	5'
Side Setback with Easement (6)	0'	0'	0'
Building Separation	10'	10'	10'
Rear Setback (14)	10'	10'	10'
Rear Setback - Alley Load Garage	4'	4'	4'
Side (Corner) Setback	10'	12'	12'
Accessory Use (8)			
Max Height	15'	15'	15'
Front Setback	20'	20'	20'
Side Setback	5'	5'	5'
Rear Setback (non-garage)	5'	5'	5'
Rear Setback (garage)	4'	4'	4'
Side (Corner) Setback	15'	15'	15'

Residential Land Use Development Standards Matrix

Multi-Family Residential (10)				
Standards	HDR	MDR	MU/CL	MU/CH
Minimum Lot Size	NONE	NONE	NONE	NONE
Lot Frontage (5)	No Minimum	No Minimum	No Minimum	No Minimum
Parking Requirement (2) (3)	(2)	(2)	(2)	(2)
Max. Height	40'	35'	35'	40'
Max. Number of Units Attached	24	16	16	24
Principal Use				
Setback from Local (6) (10)	10'	10'	10'	10'
Setback from Private	10'	10'	10'	10'
Setback from Parking Lot (11)	10'	10'	10'	10'
Setback from Property Line (6)	10'	10'	10'	10'
Building Separation	20'	20'	20'	20'
Open Parking Setback from ROW	15'	15'	15'	15'
Accessory Use				
Max Height	15'	15'	15'	15'
Setback from Local (6) (10)	15'	15'	15'	15'
Setback from Private	10'	10'	10'	10'
Setback from Parking Lot (11)	5'	5'	5'	5'
Setback from Property Line (6)	20'	20'	20'	20'
Building Separation	10'	10'	10'	10'

Land Use Development Standards Matrix

- Notes:**
- (1) Min. lot size shown for single family detached.
- (2) Required parking shall meet the City of Greeley Land Development Code Parking Standards, as amended, if not covered by these guidelines. Shared parking shall be allowed in instances where appropriate.
- (3) Studio and 1 bedroom units require 1.5 parking spaces per unit and .25 guest spaces per unit. 2 bedrooms units require 2.0 parking spaces per unit and .25 guest spaces per unit. 3+ bedrooms units require 2.0 parking spaces per unit and .25 guest spaces per unit.
- (4) Parking includes a minimum of one space in a garage and one space in the driveway. Guest parking spaces for SFD shall be accommodated in the driveway, in a 2-car garage, and/or on-street.
- (5) Lot frontage measured at setback.
- (6) A zero lot line may be utilized when a maintenance easement and side yard easement are executed, subject to IBC requirements.
- (7) Lot frontage on a cul-de-sac may be reduced by five feet.
- (8) An accessory use in this application of the term, shall not include a living space.
- (9) Standards are provided for duplex and townhome uses accommodating 6 - 18 Du/Ac. Higher density apartment and condo products shall follow the multi-family standards below.
- (10) Multi-family standards are provided for apartment and condo products ranging from 15 - 25 DU/AC. Standards for duplex and townhome product are provided above within the SFA standards.
- (11) Parking lot is defined as an area with contiguous spaces for ten (10) or more vehicles that is accessed by one or more drives.
- (12) Non-residential parking requirements will follow the City of Greeley Land Development Code, as amended.
- (13) All setbacks are measured from R.O.W. or property line.
- (14) Allowed side & rear encroachments: Decks, Stairs, Counterforts & Window Wells (3') - Eaves & Bay Windows (2') - Siding & Cladding (0.5')
- (15) Allowed front encroachments: Porches, Decks & Stairs (5') - Eaves & Bay Windows (2') - Siding & Cladding (0.5')

Non-Residential Land Use Development Standards Matrix

Non-Residential		
Standards	MU/CL(6)	MU/CH(6)
Maximum Floor Area Ratio	0.35	0.5
Unobstructed Open Space	20%	20%
Parking	(12)	(12)
Principal Use		
Height	40'	50'
Setback from Arterial from ROW	50'	50'
Setback from Collector from ROW	30'	30'
Setback from Local from ROW	15'	15'
Setback from Private	10'	10'
Setback from Parking Lot	10'	10'
Setback from Property Line	20'	20'
Building Separation	20'	20'
Surface Parking Setback from ROW	20'	20'
Setback from Single Family Detached	40'	40'
Setback from Single Family Attached	20'	20'
Setback from Multi-Family	20'	20'
Accessory Use		
Height	25'	25'
Setback from Collector	30'	30'
Setback from Local	15'	15'
Setback from Private	10'	10'
Setback from Parking Lot	10'	10'
Setback from Property Line	35'	35'

Legend
LDR = Residential Low
MDR = Residential Medium
HDR = Residential High
MU/CL = Mixed Use / Commercial Low
MU/CH = Mixed Use / Commercial High



single family detached residential development standards

Lake Bluff has established an architectural scoring system to provide a vehicle for individual design while ensuring quality and compatibility with the community. All homes in Lake Bluff shall incorporate the following 4 architectural features:

- 1. At least two different materials on the front elevation and any elevation visible from a road. Options include brick, simulated or real stone, stucco, siding or other appropriate materials.
- 2. Use of at least three different colors including trim, accent for front door and shutters (if selected), and base. A minimum of four color packages shall be offered. No two adjacent houses may share the same color package.
- 3. Front yard irrigation and landscaping shall be installed by the builder.
 - a. Builder shall install at least one deciduous tree (2 1/2" caliper minimum) or one evergreen tree (6' tall minimum) and five 5-gallon shrubs in the front setback. Placement of trees on adjacent lots shall vary.
 - b. Wing fencing to be installed by builder with front yard landscaping and shall be consistent in style with all on lot fencing.
- 4. Permanent foundations shall be required.

*Note: These graphic depictions are for illustrative purposes only and are subject to change.



elevation 1



elevation 2



elevation 3

In addition to the required architectural features, builders must select at least six (6) options from the following list of architectural features:

- 1. At least two different materials on all four elevations. Options include brick, simulated or real stone, stucco, vinyl siding, cedar siding or other appropriate material. Masonry may be used as an exclusive material on the front elevation, but the other three elevations must use at least two other treatments. If masonry is used on the front elevation, it must wrap around to a natural break point (with a min. of 2' of wrap) or side-yard fence.
- 2. Use of at least three distinct architectural styles for each product (ie: craftsman, prairie, mountain, traditional, etc.)
- 3. Varying locations and proportions of front porch in a series of four houses on the same block and side of a street.
- 4. Varying location and proportions of garage doors in a series of four houses on the same block and side of a street.
- 5. The width of front elevation differing by more than 2' in a series of four houses on the same block and side of a street.
- 6. Variations in the front plane and roofline.
- 7. Use of roof dormers.
- 8. Variation of building types: ranch, two-story and split level.
- 9. Walkout basements.
- 10. Window shapes that are substantially different, including bay windows.
- 11. At least one bay window on front elevation or any elevation visible from a street.
- 12. Windows with grids or other enhanced treatment on all four elevations.
- 13. At least 2 clerestory windows, or windows w/ transoms above the main window.
- 14. Front door w/ at least one sidelight, transom window, or double door.
- 15. Garage door with a minimum of 3 windows per door.

Differentiation between architectural styles (ie. craftsman, prairie, traditional, etc) should be distinct enough to ensure variety along a streetscape in which multiple elevations are chosen.

- 16. A home design where garage doors do not appear on the front elevation.
- 17. For non-alternately loaded garages; garages that do not protrude more than 5' from main facade.
- 18. Main roof w/ a slope of 6:12 min.
- 19. Front or side porch w/ a min. depth of 5' and a min. floor area of 50 SF.
- 20. Front or side porch w/ at least 2 columns w/ a min. cross section of 8" each.
- 21. Decorative shutters on 80% of the street-facing windows.
- 22. Second story porch, front or side porch of at least 25 SF.
- 23. Rear or side deck of at least 50 SF.
- 24. At least a 16" roof overhang on the front elevation w/ decorative brackets, beams, or exposed rafter ends.
- 25. Decorative material treatment on at least one gable end facing the street.
- 26. At least 100 SF of patterned paving on the subject property.
- 27. Real or simulated chimneys on elevation facing street.
- 28. Front porch lights with 40 watt fixtures or coach lights on posts on all houses.
- 29. Partial basement.
- 30. Rear yard landscaping installed by builder, provided that a rear yard landscape plan is provided as part of the building permit.
- 31. Entire yard fenced by builder prior to certificate of occupancy.
- 32. Additional tree or five 5-gallon shrubs for front yard landscaping.
- 33. 50% of all homes shall have an entry walk from porch/front door to street.
- 34. Minimum of two planes on rear elevations, each plane to have a min. 1' depth variation.
- 35. More than one treatment for the predominant siding (i.e. vinyl, cedar, or other siding material).
- 36. Roofs may be high profile composition shingles such as slate, clay or concrete tile, architectural metal, or dimensional asphalt shingles. No shake roofs shall be permitted. All roofs shall carry a minimum 20-year warranty.
- 37. 15% minimum windows and door openings on the front elevation.

On homes fronting collectors, pocket parks, schools, and entry ways to neighborhoods, at least four of the architectural features must be included on the front elevation. The other two architectural features may be on the rear or sides of the homes.



single family attached (townhome/duplex) residential development standards

All homes shall embody the following architectural features, at a minimum:

1. At least two (2) different materials on front elevation and any elevation visible from a public street. Options include brick, simulated or real stone, stucco, siding, or other appropriate materials
2. More than one treatment for predominant siding (ie: vinyl, cedar, other)
3. Use of at least three (3) different colors, including trim (1 color), accent for front door and shutters (1 color) and base (at least two complimentary colors or contrasting shades). A minimum of four (4) color packages shall be offered. No two adjacent houses shall share the same color package.
4. Roofs shall be high profile composition shingles such as slate, clay or concrete tile, or dimensional asphalt shingles. No shake roofs shall be permitted. All roofs shall carry a minimum 30-year warranty.
5. Front yard irrigation and landscaping to be installed by builder.

In addition to the minimum architectural requirements, builders must select six (6) options from the following list of architectural features:

1. At least two (2) different materials on all four (4) elevations. Options include brick, simulated or real stone, stucco, vinyl siding, cedar siding, or other appropriate materials. Use of masonry only may be used on front elevation, but the other three (3) elevations must use at least two (2) other treatments. If masonry used on front elevation, it must wrap around until a natural break line or side yard fence. Minimum 2ft of wrap is required.
2. Varying locations and proportions of front porches for each unit within a building.
3. In a series of four (4) units or more within one building, width of front elevation of two adjacent units differing by more than 2ft
4. Variations in the front plane and roofline
5. Use of roof dormers
6. Variation of building types: i.e. one story on the ends with two-story in the center
7. Walk-out basements
8. Window shapes that are substantially different, including bay windows
9. At least one bay window on front elevation or any elevation visible from a street
10. Windows with grids on all four elevations
11. Front door w/ at least one sidelight, transom window, or double door
12. Clay or concrete tile roofs
13. Garage door w/ windows and at least 6 panels
14. A building design where garage doors do not appear on the front elevation
15. Main roof with a slope of 6:12 min.
16. Front or side porch w/ a min. depth of 5', width of 8' and a min. floor area of 40 SF.



Multiple materials and colors, along with high profile composition shingle roofs and builder installed front yard landscaping shall be required.



Single family attached (townhomes/duplexes) residents that are designed to resemble large single family detached homes (such as manor homes) are encouraged to be included within the community to provide diversity; both architecturally and for varying home ownership opportunities.



Single family attached (townhomes/duplexes) architecture will include elements to provide visual interest and differentiation such as: a variety of styles and materials, varying roof lines and heights of units within the building, a variety in the width of adjacent units. Varying location and proportion of front porches, window shapes that are substantially different, front doors with sidelights or transoms, and front elevations where garage doors do not appear.



*Note: These graphic depictions are for illustrative purposes only and are subject to change.

17. Front or side porch w/ at least 2 columns with a min. cross section of 8" each
18. Decorative shutters on all street facing windows
19. Second story porch front or side porch of at least 25 SF
20. Rear or side deck of at least 50 SF
21. At least a 16 inch roof overhang on the front elevation with decorative brackets, beams, or exposed rafter ends
22. Decorative material treatment on at least one gable end facing the street
23. At least 10 lineal feet of masonry privacy walls on the subject property
24. At least 100 SF of patterned paving on the subject property
25. Real or simulated chimneys
26. Front porch lights with 40 watt fixtures or coach lights on posts on all houses
27. Partial basement
28. 50% of all homes shall have an entry walk from porch/front door to street
29. Minimum of two planes on rear elevations, each plane to have a min. 1ft depth variation
30. Minimum private yard or courtyard of at least 80 SF.
31. Non-repetitive front elevation for adjacent units within a building.

multi-family residential development standards

All buildings shall embody the following architectural features, at a minimum:

- 1. At least two (2) different materials on front elevation and any elevation visible from a public street. Options include brick, simulated or real stone, stucco, siding, or other appropriate materials
- 2. More than one treatment for predominant siding (ie: vinyl, cedar, other)
- 3. Use of at least three (3) different complimentary colors throughout the project.
- 4. Roofs shall be high profile composition shingles such as slate, clay or concrete tile, or dimensional asphalt shingles. No shake roofs shall be permitted. All roofs shall carry a 30-year minimum warranty
- 5. A minimum of two planes for the front elevation

Builders must select four (4) options from the following list of architectural features:

- 1. At least two (2) different materials on all four elevations. Options include brick, simulated or real stone, stucco, vinyl siding, cedar siding, or other appropriate materials. Use of masonry only may be used on front elevation, but other three (3) elevations must use at least two other treatments. If masonry used on front elevation, it must wrap around until natural breakline or side yard fence
- 2. Porches and balconies for at least 50% of the units
- 3. Utilizing covered parking for a minimum of 50% of the required parking
- 4. Variations in the front plane and roofline
- 5. Use of roof dormers
- 6. Use of one (1) and two (2) story variations within the same building
- 7. Window shapes that are substantially different, including bay windows
- 8. At least one (1) bay window on front elevation or any elevation visible from a street
- 9. Windows with grids on all four elevations
- 10. Clay or concrete tile roofs
- 11. At least two (2) distinct roof lines
- 12. Decorative shutters on all street facing windows
- 13. At least a 16 inch roof overhang on the front elevation w/ decorative brackets, beams, or exposed rafter ends
- 14. Decorative material treatment on at least one gable end facing the street
- 15. Real or simulated chimneys
- 16. Minimum of two (2) planes on rear and side elevations, each plane to have a min. 1ft depth variation



A variety of different materials and color combination are encouraged within multi-family developments, as are porches and balconies to break down the scale of the buildings.



On larger multi-family buildings, architectural elements such as: variation in building elevation plane, incorporation of high profile roofing materials, real or simulated chimneys and decorative shutters shall be required.



Individual multi-family developments in excess of 200 units shall include amenities such as swimming pools and exercise facilities for their residents.



Creative architecture shall be embraced within the higher density portions of Lake Bluff to ensure interest and diversity within the community.



Note: These graphic depictions are for illustrative purposes only and are subject to change.



Note: These graphic depictions are for illustrative purposes only and are subject to change.

The single family residential design standards included within this PUD are intended to ensure diversity and interest throughout the Lake Bluff Community. From a design standpoint, the quality of the streetscapes and the associated sense of place that they produce are equally important as the individual building standards, and are intended to work in concert with each other to create an appealing community that is comprised of unique neighborhoods that still work together.

At individual neighborhood entries throughout the community, the master developer / metropolitan district shall be responsible for the installation of site walls, neighborhood monumentation, landscape and median islands to ensure a consistent look throughout Lake Bluff.



Variety in color palettes and architectural styles shall be required within given neighborhoods.



In areas of the community where the backs of houses face collector or arterial streets, enhanced rear elevations that include elements such as: multiple colors and materials, roof line variation, the inclusion of roof dormers, and windows of substantially different shapes and sizes shall be required. Also, increased areas of builder installed community landscaping shall be encouraged as buffer zones adjacent to these residential areas.

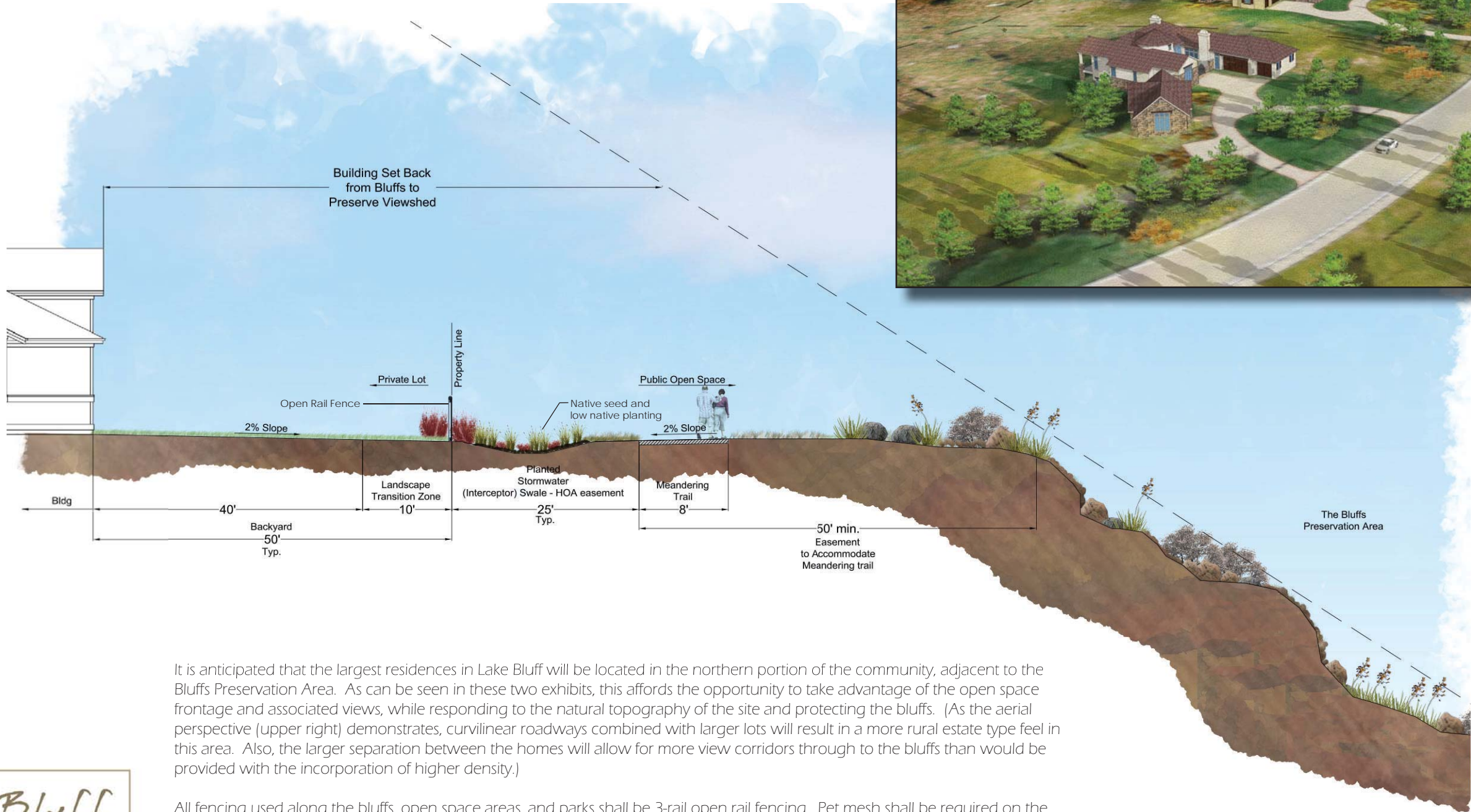
Lake Bluff

typical neighborhood
development standards

sheet 12

January 9, 2020

Typical Bluff Trail Cross Section



Note: This graphic depiction is for illustrative purposes only and is subject to change. It has been included to represent typical community design elements that may be used and are encouraged within Lake Bluff.

Lighting:
All lighting used along the bluffs including the rear yards of the adjoining homes shall be International Dark Sky Association certified in-order to reduce the impacts of wildlife.

It is anticipated that the largest residences in Lake Bluff will be located in the northern portion of the community, adjacent to the Bluffs Preservation Area. As can be seen in these two exhibits, this affords the opportunity to take advantage of the open space frontage and associated views, while responding to the natural topography of the site and protecting the bluffs. (As the aerial perspective (upper right) demonstrates, curvilinear roadways combined with larger lots will result in a more rural estate type feel in this area. Also, the larger separation between the homes will allow for more view corridors through to the bluffs than would be provided with the incorporation of higher density.)

All fencing used along the bluffs, open space areas, and parks shall be 3-rail open rail fencing. Pet mesh shall be required on the interior side of the fence.

The Bluff Preservation Area shall incorporate an average of 50' trail easement and a 25' HOA maintained stormwater swale easement with a meandering trail along the top of the bluffs, as can be seen in this section. This provides an average of 75' from the rear yard line to the top of the bluffs. This setback combined with the 50' rear yard setback to the homes will ensure that any possible "ridgeline effect" associated with the home building envelope in this area will be minimized. Landscape shall be added between the trail and the home in conjunction with a stormwater swale to catch any runoff from the lots before the top of the bluffs. The landscape located in the 25' stormwater swale and in the 10' Landscape Transition Zone shall be made up of native, non-invasive plant material.



landscape standards

SUSTAINABLE LANDSCAPE DESIGN GUIDELINES

These landscape guidelines are intended to compliment the Neighborhood and Architectural Standards included in this PUD document. It is the goal of these standards to help promote sustainable development at Lake Bluff by outlining essential landscape components that complement and enhance community character. Where not specified differently herein, specific planting requirements shall adhere to the City of Greeley Development Code, as amended.

Guiding Principles

The landscape design standards have been created within the context of the western high-plains semi-arid climate in which Lake Bluff is located. The responsible use of natural resources and native materials within this geographic context is important as we develop visually appealing landscape designs to grow with the Lake Bluff community over time. Due to the semi-arid nature of the western high plains, the responsible use of water is essential.

Stewardship – Demonstrate a water conservation landscape approach that successfully blends aesthetic appeal with ecological constraints through a commitment to the use of appropriate plant materials and site sensitive design.

Innovation – Continue to encourage new and flexible landscape solutions that foster sustainable landscapes within the community.

Cost effectiveness – implement design strategies that respect the use of drought tolerant / native plant materials that are



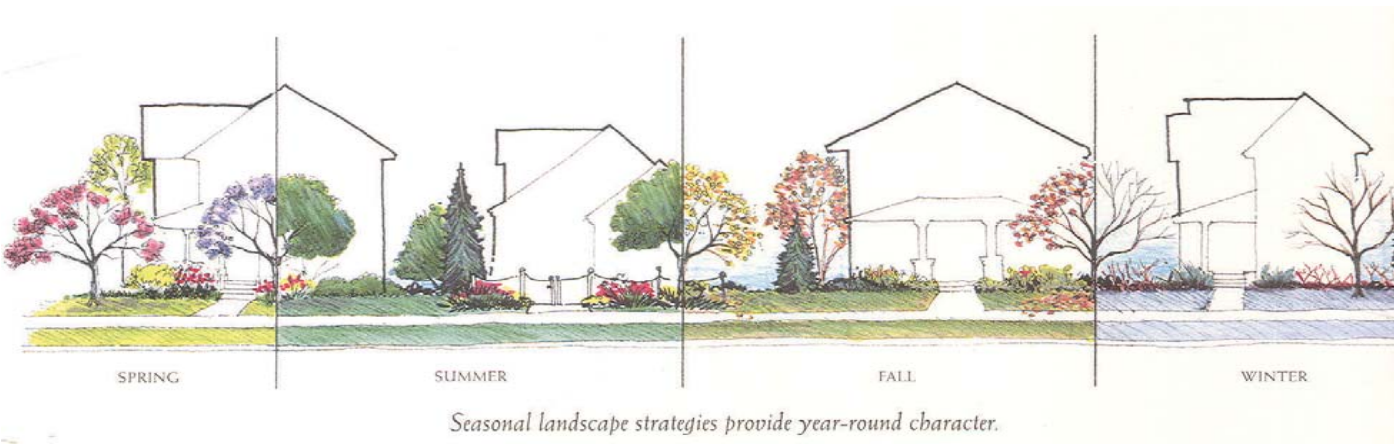
also to ensure diversity with in the plant communities as a means of ensuring resistance to pests commonly associated with monocultures.

As a design inspiration that can be pulled from the prairie, large groupings of native and ornamental



grasses, shrubs, perennials, wildflowers and ground covers are encouraged to be used at Lake Bluff.

These plantings should be arranged to provide strong images of texture, color and contrast in response to their specific setting. In addition, the landscape design utilized throughout the community should reinforce the transitions that occur with respect to both land use and open space. For instance, in areas of higher density and commercial use, a more cultivated formal approach to planting design will provide a complimentary arrangement to the architecture. This approach emphasizes structured and geometric planting patterns that correspond to the site design while creating year round impact. As the community transitions to areas of lower density, a more informal or naturalized landscape pattern shall be encouraged. This approach is characterized by the loose and organic nature of the planting design; while still considering the integration of plant size and texture, as well as seasonal interest and color.



Design Techniques

These design techniques are intended to provide a framework for the implementation of the desired sustainable landscape character.

- Turf grass should be used responsibly to serve a functional purpose as part of a front yard composition. As such, usable lawn areas shall



be designed in combination with planter beds and native ground covers, as opposed to yards that are exclusively composed of turf grass.

- The planter beds used to frame turf grass areas should be predominantly drifts of color and texture with a layered effect from smaller ground covers in the front, to larger shrubs in the back. These planters should be utilized in both front and side yards that are visible



from the street.

- Architecture should be framed by locating trees in the front yards between houses, or along architectural breaks in continuous facades.
- Planting should enhance architectural features such as entrances and bay windows; ornamental trees and perennials should be used to punctuate the entrance sequence; and evergreen vegetation should be utilized



adaptable to the site conditions in which they are used as a means of conserving water and reducing on going maintenance costs.

Generally speaking, the use of native and naturalized plant communities commonly associated with the western high plains region are encouraged. While it is important that we respect this baseline community, it is also essential that additional plant variety be incorporated, not only for aesthetic purposes but

landscape standards

Community Wide Standards

- Planting plans should respond to the architectural style of the associated building, both in terms of plant palette and design style, while not sacrificing the overall streetscape / community feel.

Horizontal Layering:

Horizontal layering shall be encouraged in the landscape design



of Lake Bluff to respond to the differences between the private and public realms. In essence, it should be used to ensure that public space expresses neighborhood identity and safety, while private space relates to the architecture and creates spaces for outdoor living. Through the use of horizontal layering a series of layers can be created to provide clear distinction between public, semi-public and semi-private space. This strategy will also act to create a pedestrian friendly environment through understandable way-finding and the clear articulation of entrances to buildings and public spaces.

Vertical Layering:

Vertical layering in the landscape can also be used to define outdoor spaces and the transition between private and public realms; as well as enhancing the pedestrian experience. Large deciduous trees provide spatial structure and shade. Their canopies provide a sense of enclosure within the street and create the framework for the neighborhoods in which they are planted. Eye level elements provide

a second layer and add human scaled definition through the incorporation of ornamental trees, shrubs, hedges, walls and fences. They are used to provide accents in the landscape

and to create outdoor rooms, spaces and sequences. They also help to link buildings to the ground and can be used as important components in architectural and site entrance sequences. Ground level elements such as paving, ground cover, perennials and turf grass provide the final component in the vertical layering process. They are a critical component in the functioning of outdoor space and their detailing can add to the success of both public and private spaces, as well as the tying of landscape and architecture together.

Water Considerations:

- Rain gardens are encouraged to be integrated into residential landscapes to accommodate the infiltration of rainwater runoff into the landscape.
- Plants should be grouped into planting areas with similar water requirements to promote efficiency with respect to irrigation and management.
- Low water use and native plants shall be used within all plant palettes.
- Plan for efficient irrigation systems, using drip systems whenever feasible.
- Design for a low water, low-maintenance approach.
- Select plant material that will naturalize requiring water on an as-needed basis.
- The use of mulches to retain moisture in the soil shall be required.
- Plants must be selected from www.watersmartplants.com/gre



Street tree requirements

Street tree planting is required along all public streets, with spacing of 40' on center, and a minimum size of 2" caliper. Builders must provide deciduous canopy trees aligned parallel to the curb and centered in tree lawn, planter, or median as applicable. Tree species should be chosen for the location in which they are being placed. For instance, median trees should be more tolerant of harsh and dryer conditions, while trees located within storm water improvement areas should be tolerant of moist conditions.

An overall street tree planting plan shall be designed for each neighborhood at Lake Bluff to ensure that an appropriate mix of character and species diversity is achieved throughout the community. Builders shall be required to plant trees in accordance with the applicable neighborhood planting plan. The builder is required to notify all utility companies prior to excavation and installation of street trees. When feasible, street trees shall be located at least 10' away from adjacent light poles and utility structures.

Drip irrigation shall be provided to all street trees in tree lawns and medians, that do not receive overspray from turf grass areas.



In an effort to reinforce the important open space areas integrated throughout the community, in areas with public streets adjacent to naturalized open space, variety in the street tree spacing shall be encouraged. Groupings of trees shall be placed in random patterns in groups of odd numbered quantities to correspond to the interface between the street and the open space area. The number of trees required in such groupings shall be determined by dividing the linear frontage of street adjacent to the open space by 40.

Massing & Order

In public spaces at Lake Bluff, trees, shrubs, perennials, ornamental grasses, ground covers and vines should be massed to define outdoor spaces, reinforce the primary entry and enhance the architectural design, the street and the neighborhood. Massing of plants into cohesive groups is highly recommended to provide strong images of texture, color and contrast throughout the community. In private residential spaces and courtyards, the planting design may be more diverse



and varied in response to the scale and intimacy of the space. Generally speaking, larger outdoor spaces should use massing of plant species to create drifts of form, color and texture, while smaller spaces should utilize more detailed planting design, in response to the scale of the space.

Seasonal Landscape

Public space planting zones should be designed to provide seasonal color and interest throughout the year. In making proper plant selections, ensure that plant groupings have the maximum amount of bloom coverage throughout each season. Refer to the included plant list for blooming / seasonal interest information. Use evergreen plant material as accents to punctuate entrances, screen utilities and provide year color and interest.



landscape standards

Soils

Along with proper plant selection and watering schedule, soil preparation is essential for success of newly installed landscapes. Planting beds must be treated and prepared before installation of landscape and irrigation system. Generally speaking, proper soil preparation includes the following:

- Test existing soil in landscape area for mineral and organic matter content to determine proper soil amendments based on results of soil test.
- Till existing soil in landscape area to approximately 6" (inch) depth to aerate soil compacted during construction.
- Apply soil amendments evenly over landscape area to a depth of 2"-3" (inches) of compost, fertilizer or appropriate organic material. Till soil amendments into the existing soil to a depth of 3"-5" (inches).
- Modify non-percolating tree pits in order to provide adequate drainage.

Site specific soil preparation specifications will be provided on individual landscape plans that respond to the conditions of the site.



Mulching

Mulching is required to assist with moisture retention in planting beds. Mulching also helps to establish healthy root systems in newly planted landscapes, reduce weeds, and protect plants for maintenance damage.



Due to the organic composition and water retention capabilities, fibrous wood mulch is the preferred mulching material for planting beds. However, it is recognized that various site conditions such as drainage and wind, not to mention aesthetic reasons, may preclude the use of wood mulch in all areas. As such, some

landscape areas may be better suited to alternative mulching applications such as natural colored rock mulch, river cobble mulch, and recycled rubber mulch. Use of these materials should be considered only in areas not well suited for fibrous wood mulch, since they are less hospitable to plant growth.

A continuous edger shall be installed between all planting beds and adjacent turf grass areas. When a lawn is not present, an edger is not required.

Continuous commercial grade weed barrier shall be installed in planting beds at the time of planting, where appropriate.

Canopy, ornamental and evergreen trees shall have a mulch ring installed at the base of the tree at the time of planting. This mulch ring shall have a minimum radius of 2 feet as measured from the center of the tree trunk, and it should be of organic material to a minimum depth of 3 inches.

Irrigation

All properties at Lake Bluff shall be equipped with an automatic irrigation system. On residential properties this irrigation system shall be builder installed in conjunction with the front yard landscaping. The system shall include an automatic irrigation controller and shall be expandable to include any side and rear lot landscaping added by the homeowner.

All trees, shrub and perennial beds and ground cover areas shall be irrigated with a drip or sub-surface drip irrigation system. Lawn areas shall be irrigated with a pop up spray system, but should be minimized as much as is practicable.

Use of rain / moisture sensors with automatic control systems shall be utilized for the irrigation of all public spaces.

If it is determined that a non-potable irrigation system is a feasible option for inclusion within the Lake Bluff community, such integration shall be used.

Materials required by local codes shall be utilized for installation of all potable and non-potable water meter and vault, tap and associated piping.



Property Definition

a) Hedges - Hedges are optional for use in defining property at Lake Bluff. When used, they must be continuous along the front and side property lines along a street. In portions of the property in front of the architectural plane of the house closest to the street, the maximum allowable height of any hedge is 36" (inches). Along side and rear property lines (behind the front plane of the house), the maximum allowable height of any hedge is 60" (inches).



b) Walls – Walls may be used to create privacy and extend architectural character elements into the landscape. The use of walls are optional at Lake Bluff, but may be utilized to create courtyard spaces both in association with commercial and residential applications. Also, they may be used define property ownership under certain conditions

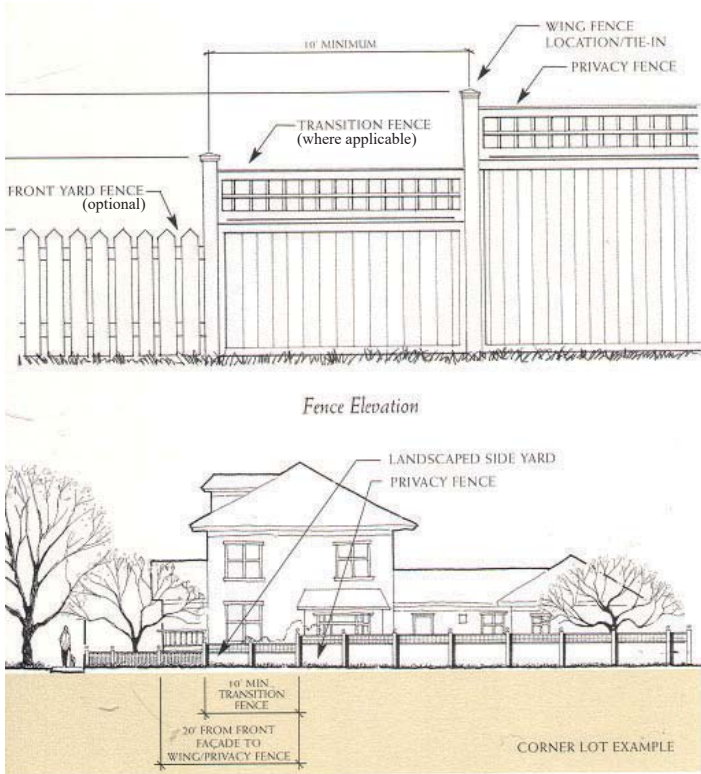
In residential applications on portions of the property in front of the architectural plane of the house closest to the street, the maximum allowable height of any wall is 36" (inches). Decorative metal fencing may be added to the top of the low wall to define the public and semi-public realm, but the combined height of the wall and fencing shall not exceed 36" (inches) in height. Along side property lines (adjacent to the principal structure of the house), the maximum allowable height of any wall is 54" (inches). Along the side and rear

property lines (behind the rear façade of the principal structure), the maximum allowable height of any wall is 72" (inches).

All proposed wall designs must use stone, masonry, or appropriate principal building materials and are subject to review and approval by the Design Review Committee.

c) Fencing – Fencing further defines private space around residential structures, and should be designed to coordinate with the architectural style, color, and materials of the house as much as possible.

Ensure that the design and installation of front, side, and rear yard fencing, as well as low walls and hedges does not interfere with intersection site distance triangles or AASHTO's stopping site distance requirements.



No plant material with mature growth greater than three (3) feet in height shall be planted within potable water, sanitary sewer, or non-potable irrigation easements. [Volume III, Section 2.05(A)]

No shrubs shall be planted within five (5) feet or trees within ten (10) feet of potable and non-potable water meters, fire hydrants, sanitary sewer manholes, or potable water, sanitary sewer, and non-potable irrigation mains and services. [Volume III, Section 2.05(B)]

Automatic irrigation system shall be equipped with an automatic rain detection device. [Chapter 18.44.100.3.b]

landscape standards

sheet 16

January 9, 2020

landscape standards

Fencing Location & Specifications:

- Wing Fencing – at least 3’ back from the front building façade; or at an appropriate architectural feature perpendicular to the house.
- Wing Fencing on Corner Lot – at least 5’ back from the front building façade; or at an appropriate architectural feature perpendicular to the house.
- Rear Yard – on property line or within 4’ of property line.
- Side Yard – on property line or where appropriately located in conjunction with zero lot line product and associated shared use easements.
- Maximum Height
 - Front yard fence = 36” maximum
 - Wing & Transition fence = 54” maximum
 - Rear and side yard fence = 72” maximum
- Material – Wood, Vinyl, Masonry or Iron
- Finish – semi-transparent or solid color stain, latex acrylic stain, or suitable outdoor paint.
- Privacy fencing must incorporate a gate to access the rear yard on front loaded lots, and an additional gate to access the alley on alley loaded lots.
- Incorporation of an articulation change in the top 12” – 18” of a fence facing a public street or alley is encouraged.
- On sloping sites, fencing shall be level along the top of the fence with adjustment for grades being made either along the bottom rail, or by stepping fence sections.
- Open rail fencing shall be utilized adjacent to all open space and parks.
- A 10’ min. fence transition shall be provided between rear yard fencing and front yard fencing where applicable.

Bike Racks:



Bike racks should be located through out the community especially at gathering locations such as parks, schools and commercial areas.

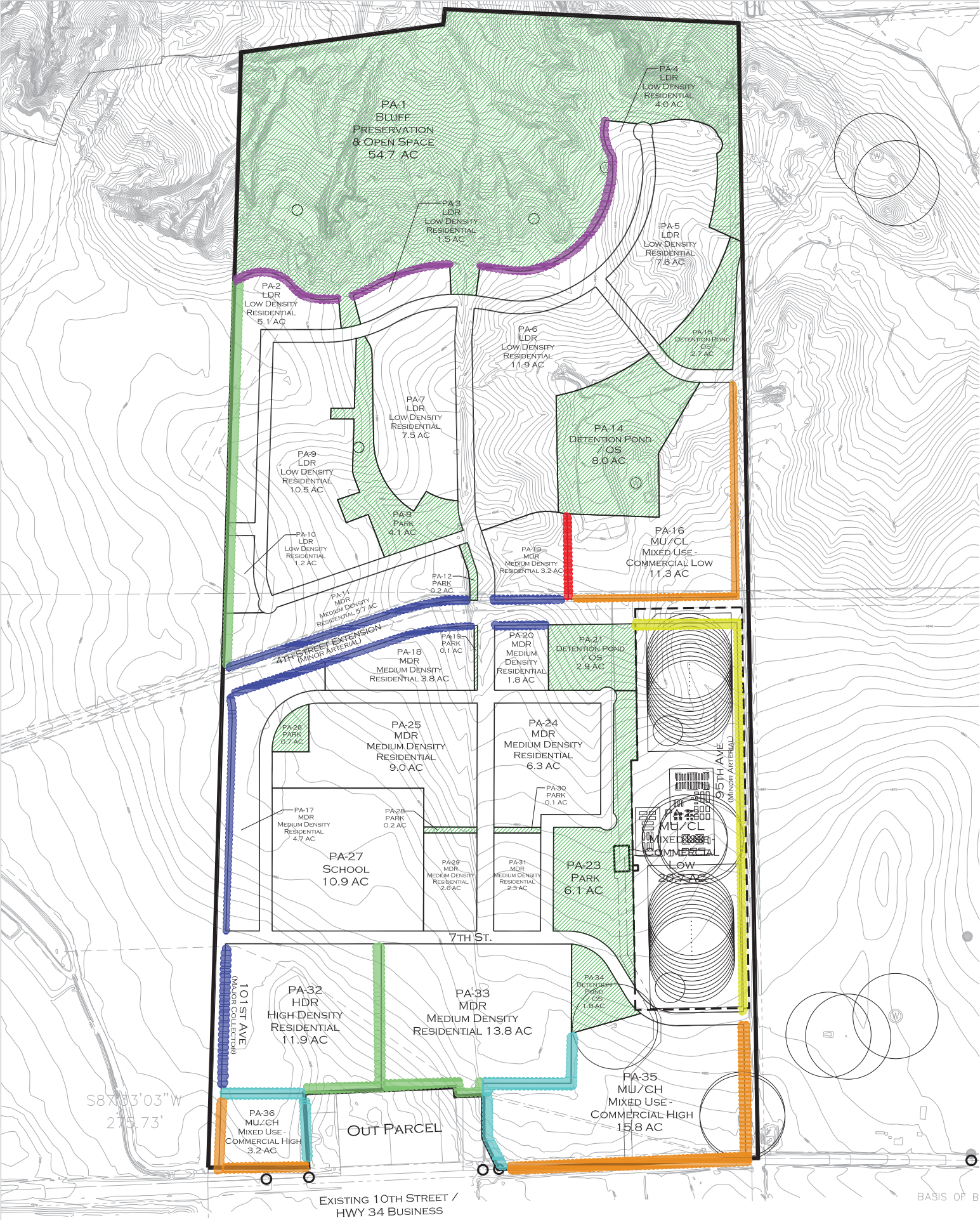
Bike racks will be required at prograded activity areas located in parks. Quantities and location of bike racks to be determined with the City of Greeley Parks Department.

The location and quantity of bike racks at school locations will be coordinated with the Windsor School District.

Commercial buildings under 50,000sq ft. shall have 1 bike parking space per 5,000 sq. ft. GFA. Commercial buildings 50,000sq ft. or grater hall have 1 bike parking space per 7,000 sq ft. GFA. Minimum requirement is 2 spaces.

Development Commitments Matrix					
Area / Improvement	Plan Preparation and Approval	Construction Timing	Construction Responsibility	Maintenance Responsibility	Ownership
Bluff Preservation Open Space	Area to be dedicated will be determined in conjunction with the final plan / final plat for this area.	T.B.D	T.B.D	City of Greeley	City of Greeley
Regional Trail in Bluff Preservation Area (8' Soft Surface)	Area to be dedicated will be determined in conjunction with the final plan / final plat for this area.	The Regional Trail should be constructed when 50% of the lots in PA-3 & PA-4 have building permits in place.	T.B.D	City of Greeley	City of Greeley
City Park PA-23	Area to be dedicated will be determined in conjunction with the final plan / final plat for this area.	The Neighborhood Park in PA-23 should be constructed when 50% of the lots in PA-24 & PA-31 have building permits in place.	T.B.D	City of Greeley	City of Greeley
City Park PA-8	Area to be dedicated will be determined in conjunction with the final plan / final plat for this area.	The Neighborhood Park in PA-8 should be constructed when 50% of the lots in PA-7 & PA-9 have building permits in place.	T.B.D	City of Greeley	City of Greeley
Pocket Parks	Final landscape plans will be completed in conjunction with the final plan as required for each specific portion of Lake Bluff being developed at that time.	Pocket parks will be constructed when 50% of the building permits are in place within the PA parcel where the respective pocket park exists.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	Lake Bluff Metropolitan District(s) or H.O.A.	Lake Bluff Metropolitan District(s) or H.O.A.
Internal Community Trails	Final landscape plans will be completed in conjunction with the final plan as required for each specific portion of Lake Bluff being developed at that time.	Internal community trails will be constructed concurrent with the parks and adjacent infrastructure to them.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	Lake Bluff Metropolitan District(s) or H.O.A.	Lake Bluff Metropolitan District(s) or H.O.A.
10th Street Road and Signal Improvements	Final roadway plans will be prepared per CDOT standards for the 10th St. ROW.	Work to be completed per the triggers specified in the Traffic Impact Study and/or as identified by CDOT.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	City of Greeley	City of Greeley
Roadways	Final roadway plans will be prepared per City of Greeley standards as required for each specific portion of Lake Bluff being developed at that time.	Roadways shall be constructed per approved final construction plans prior to issuance of the 1st building permit for the specific portion of Lake Bluff being developed at that time.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	City of Greeley	City of Greeley
Utilities	Utilities will be designed per City of Greeley standards as required for each specific portion of Lake Bluff being developed at that time.	Utilities shall be constructed per approved final construction plans prior to issuance of the 1st building permit for the specific portion of Lake Bluff being developed at that time.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	City of Greeley	City of Greeley
Storm Sewer Facilities	Storm Sewer will be designed per City of Greeley standards as required for each specific portion of Lake Bluff being developed at that time.	Storm Sewer shall be constructed per approved final construction plans prior to issuance of the 1st building permit for the specific portion of Lake Bluff being developed at that time.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	City of Greeley	City of Greeley
Storm Sewer Facilities (Ponds)	Ponds will be designed per City of Greeley standards as required for each specific portion of Lake Bluff being developed at that time.	Ponds shall be constructed per approved final construction plans prior to issuance of the 1st building permit for the specific portion of Lake Bluff being developed at that time.	Greeley-Rothe LLC, its successors & assigns or the Lake Bluff Metropolitan District(s)	Lake Bluff Metropolitan District(s) or H.O.A.	Lake Bluff Metropolitan District(s) or H.O.A.





- BUFFER 'A'
PER CHAPTER 18.44
- BUFFER 'B'
PER CHAPTER 18.44
- BUFFER 'D'
PER CHAPTER 18.44
- BUFFER 'BLUFFS'
PER PUD
- BUFFER BY OTHERS
- PERIMETER
TREATMENT COMMERCIAL
PER CHAPTER 18.44
- PERIMETER
TREATMENT 'RESIDENTIAL'
PER CHAPTER 18.44
- PARK & OPEN SPACE

preliminary landscape plan
scale: nts



Note: Specific buffer and perimeter planting requirements shall adhere to the City of Greeley Development Code, as amended.

SYM	DESCRIPTION
---	TRAIL CIRCULATION (6' TYP)
---	TRAIL CIRCULATION (8' TYP, SOFT SURFACE)
---	PEDESTRIAN SIDEWALK CIRCULATION (SEE STREET SECTIONS)
---	10' SIDE PATH

Possible off site
trail connection



pedestrian circulation system

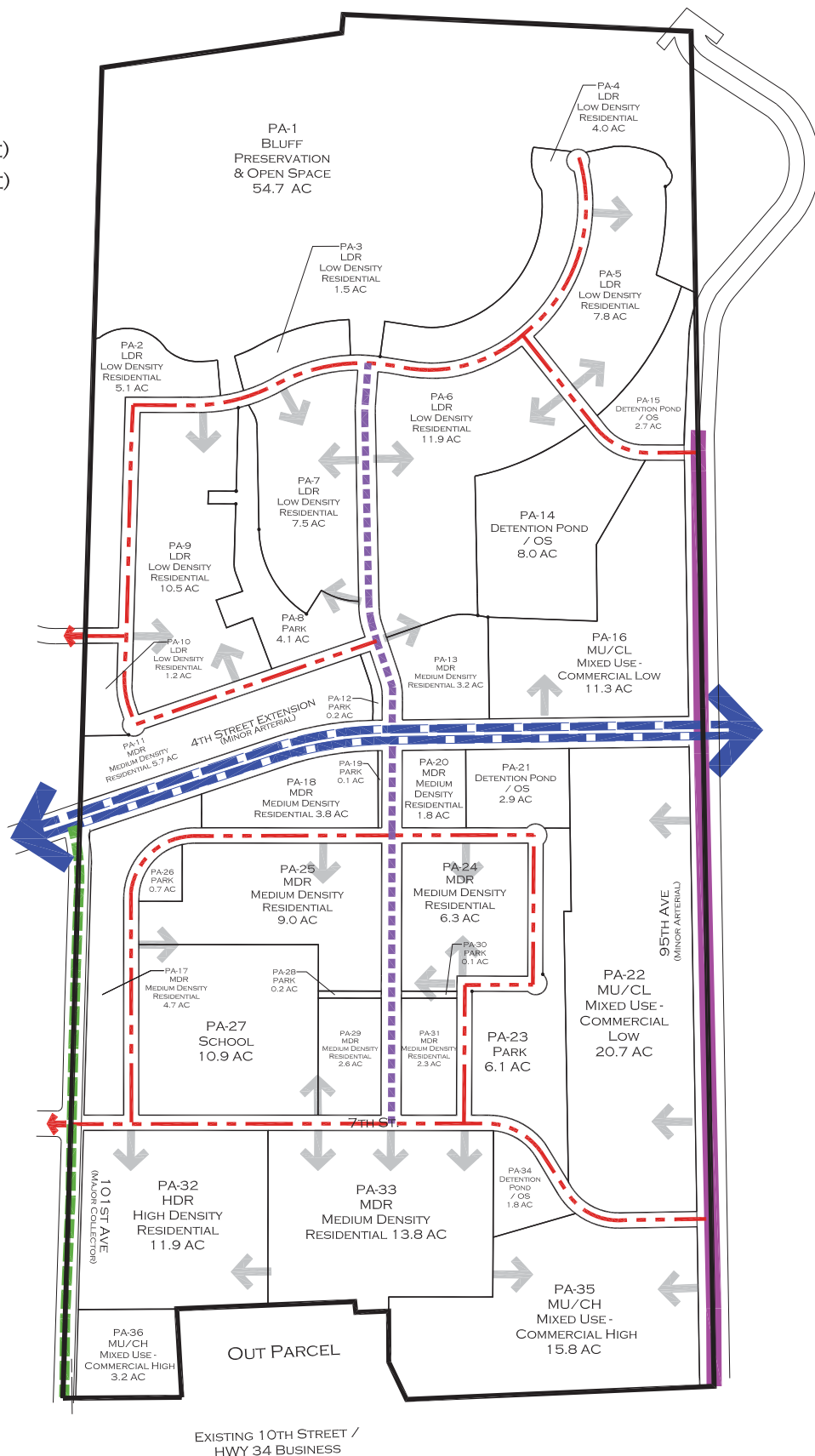
Planning for a successful vehicular and pedestrian circulation system is a fundamental component of the design of Lake Bluff. The creation of active, pedestrian friendly streets is instrumental in the success of this project. The circulation system is made up of an interconnected network of streets and walks that create multiple routes for cars, bikes, and pedestrians to move throughout the community. Sidewalks, walkways, and trails are the most basic element of pedestrian friendly environments, and we have worked to ensure a connectedness between all of these elements at Lake Bluff. The proposed street sections accommodate generous sidewalks and bike lane connections at many levels. The open space system and planned trail corridors add a further layer of pedestrian connectivity to the community. At Lake Bluff we realize that vehicular travel will play an important role in our resident's lives, but we are also striving to provide a pleasant and safe environment for alternative modes of travel that are supportive of the mix of uses present within the community. Trails will be dedicated per the Commitment Matrix.

access and circulation

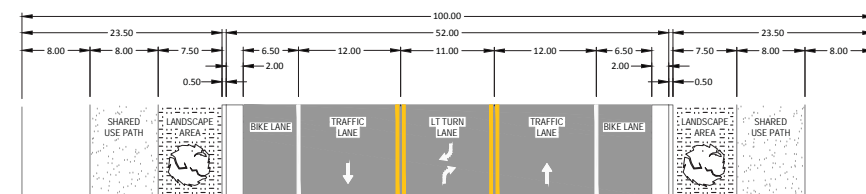
sheet 19
January 9, 2020

The street and vehicular circulation system at Lake Bluff will be a modified grid system. In this regard, it will provide the benefits associated with a grid system while responding to the natural topography of the site.

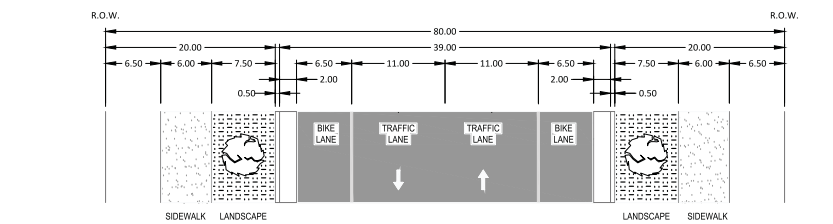
Connection of 7th Street east to 95th Ave may require abandonment of existing oil & gas facilities, and as such, may occur well into the future.



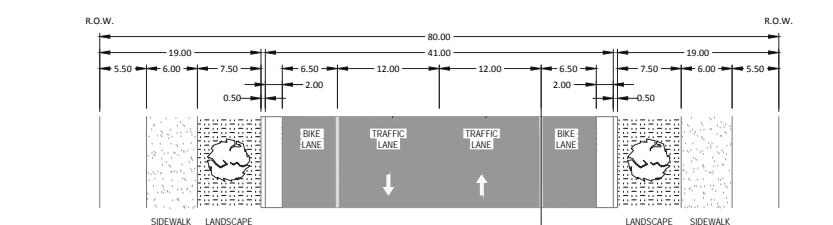
Minor Arterial 4-Lane with Raised Median R.O.W. IMPROVEMENT



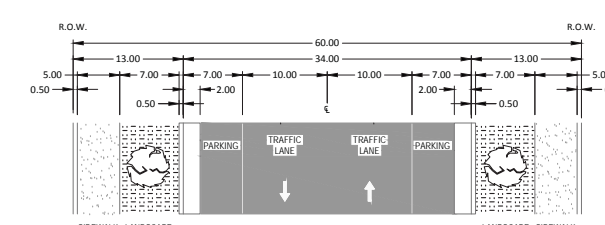
Minor Arterial 2-Lane With Continuous Left Turn



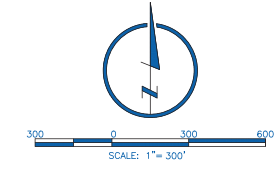
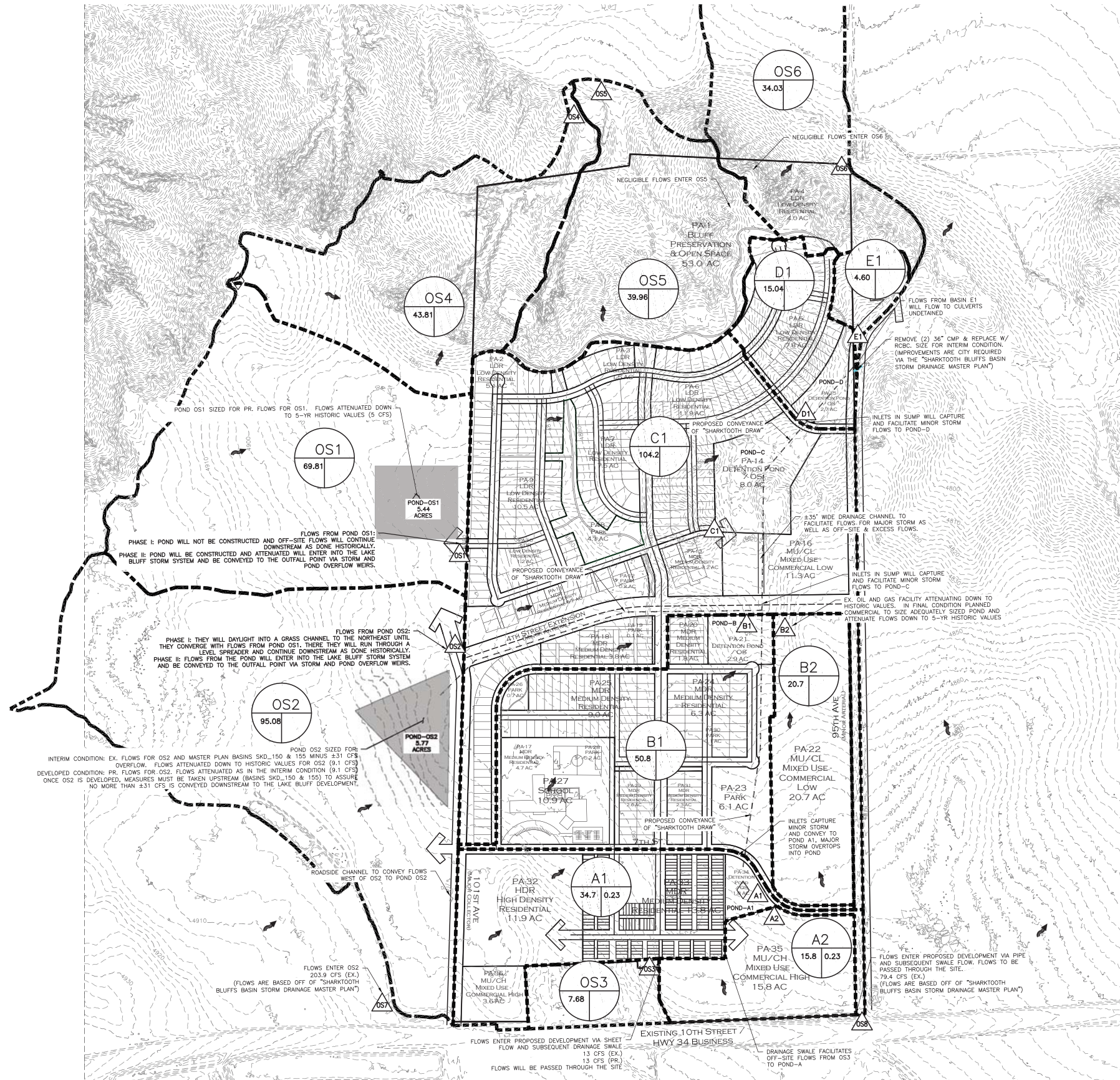
Major Collector 2-Lane Without Parking
R.O.W. IMPROVEMENT



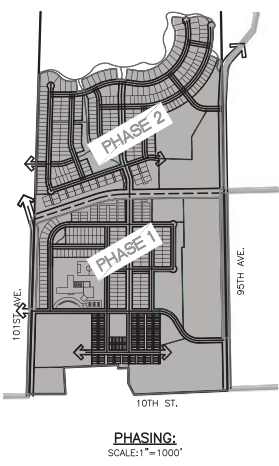
Minor Collector 2-Lane Without Parking
R.O.W. IMPROVEMENT



Local Residential - Up to 1,500 Vehicles Per Day
R.O.W. IMPROVEMENT

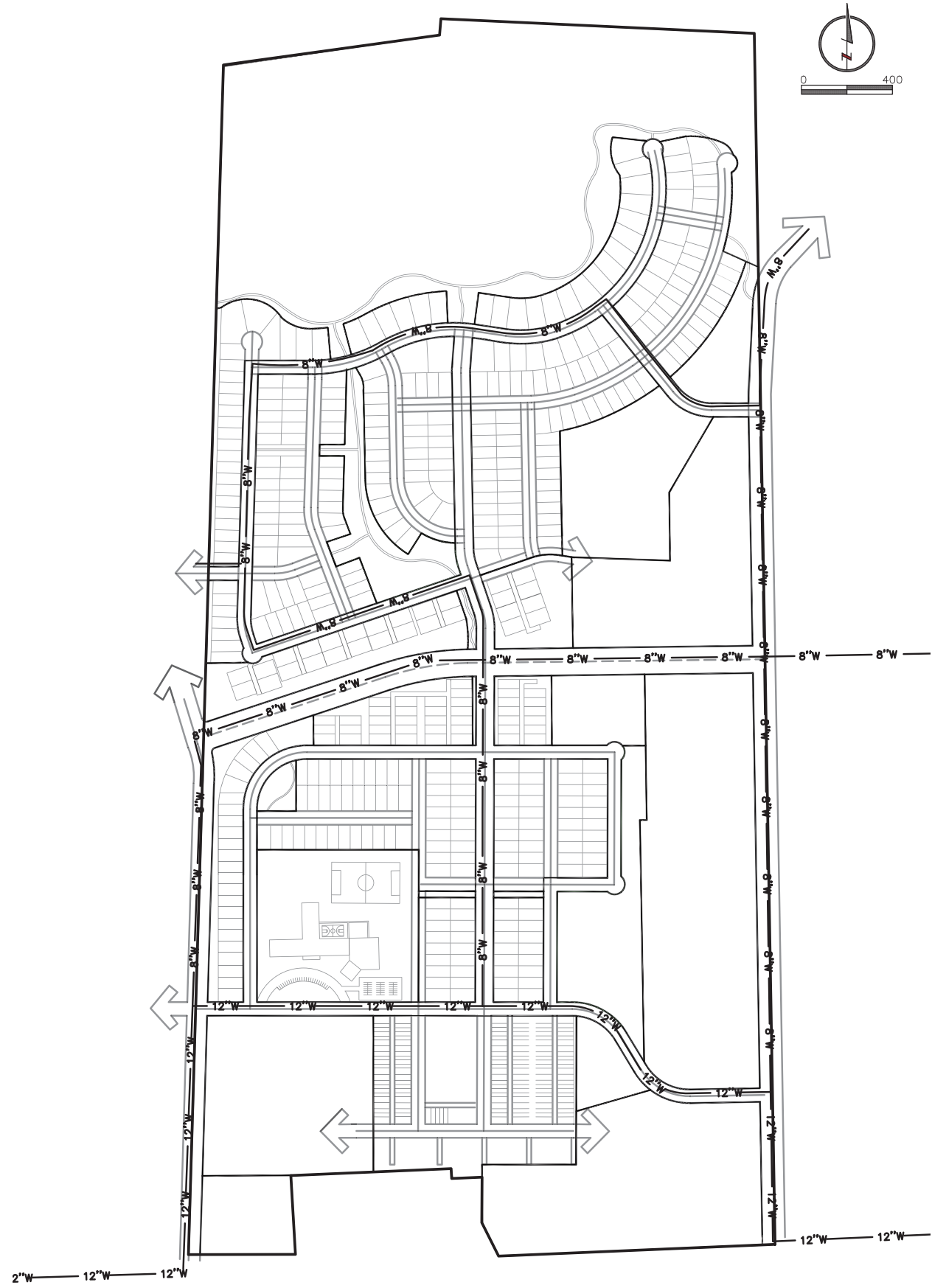


- DRAINAGE LEGEND:**
- DRAINAGE SUBBASIN BOUNDARY
 - PR. CONVEYANCE OF "SHARKTOOTH DRAW" FLOW UTILIZES DESIGNED STORMWATER CONVEYANCES INCLUDING STORM PIPE, STREET FLOW, CHANNELS AND DETENTION PONDS.
 - △ B4 DRAINAGE BASIN DESIGN POINT
 - B4 DRAINAGE SUBBASIN NAME DRAINAGE BASIN AREA
 - CHANNEL FLOW ARROW
 - OVERLAND FLOW ARROW
 - PROPOSED CONTOUR
 - EXISTING CONTOUR





Lake Bluff





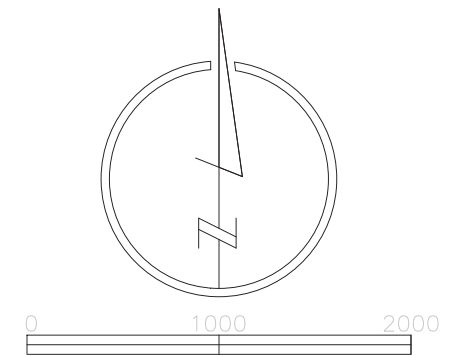
Lake Bluff

conceptual sanitary sewer layout

sheet 23

January 9, 2020

- PHASE 1 EXPLANATION OF DESIGN WORK TO BE COMPLETED
1. 16-INCH WATER MAIN IN 10TH STREET WILL BE CONSTRUCTED FROM PROMONTORY PARKWAY EAST TO 89TH AVENUE. ONSITE THE MAIN WILL GO NORTH FROM 10TH STREET ON 101ST AVENUE TO 7TH STREET, ALONG 7TH EAST TO 95TH STREET, THEN SOUTH TO 10TH STREET THEN EAST TO 89TH AVENUE. THE WATER MAIN WILL BE BORED UNDER 10TH STREET AT BOTH TIE-IN LOCATIONS.
2. SANITARY SEWER MAIN WILL BE CONSTRUCTED IN THE CENTER ROAD FROM 7TH STREET NORTH TO 4TH STREET. IT WILL THEN CONNECT OVER TO 95TH AVENUE WHERE IT WILL BE CONSTRUCTED NORTH TO THE TIE-IN POINT LOCATED NEAR THE NORTHEAST CORNER OF THE LAKE BLUFF PROPERTY BOUNDARY.
3. ALL UTILITY MAINS AND SERVICES WILL BE CONSTRUCTED IN PHASE 1 AND ANY PONDS ASSOCIATED WITH THE STORM SEWER.
4. COMMERCIAL SITES WILL BE GRADED AND WILL BE PAD READY FOR FUTURE LAND OWNERS. UTILITY STUBS WILL BE PLACED APPROXIMATELY 5- FEET INTO THE LOTS.
5. RESIDENTIAL LOTS WILL BE GRADED PER THE HOME BUILDERS REQUEST TO ACCOMMODATE PROPOSED FLOOR PLANS.
6. ALL INTERNAL ROADWAYS WILL BE CONSTRUCTED.
7. 101ST AVENUE AND 95TH AVENUE ROADWAYS WILL BE CONSTRUCTED FROM THE INTERSECTION OF 10TH STREET TO APPROXIMATELY 10 FEET NORTH OF 7TH STREET.
8. INTERSECTIONS ON 10TH ST WILL BE CONSTRUCTED PER CDOT REQUIREMENTS AND TRAFFIC STUDY RECOMMENDATIONS.
9. TRAFFIC SIGNALS WILL BE INSTALLED PER TRAFFIC STUDY RECOMMENDATIONS.
10. ALL WORK TO BE CONSTRUCTED PER CITY OF GREELEY ENGINEERING STANDARDS AND SPECIFICATIONS.
11. WORK IN ROW ON 10TH ST WILL BE CONSTRUCTED PER CDOT ENGINEERING STANDARDS AND SPECIFICATIONS.
12. CALCULATIONS FOR SITE DETERMINED 12-INCH WATER MAIN IN 10TH ST REQUIRED. PER CITY OF GREELEY REQUESTS, WATER MAIN WILL BE UPSIZED TO 16-INCH LINE.
13. PER CITY OF GREELEY REQUESTS, SANITARY SEWER MAIN WILL BE UPSIZED TO 30-INCH LINE.
14. 4TH STREET WILL BE CONSTRUCTED IN PHASE 2. SEWER MAIN WILL BE CONSTRUCTED IN PHASE 1 IN 4TH ST FROM CENTER ROAD TO 95TH AVE.
15. A SEPARATE NON-POTABLE IRRIGATION SYSTEM WILL BE DESIGNED FOR THE ENTIRE SITE. LAMP RYNEARSON HAS MODELED THE LINE TO BE A PROPOSED 8-INCH IRRIGATION LINE AND WILL RUN PARALLEL TO THE POTABLE SYSTEM IN THE PROPOSED ROADWAYS. THE IRRIGATION WILL BE INSTALLED IN PHASE 1 AND THE STUB-OUTS WILL BE PLACED ON THE NORTH SIDE OF W. 4TH STREET AT THE CENTER LOCAL ROAD AND AT 95TH AVENUE. COORDINATION WILL BE DONE WITH THE CITY OF GREELEY TO ENSURE PROPER CRITERIA IS MET.



PHASE 2 EXPLANATION OF DESIGN WORK TO BE COMPLETED

1. 12-INCH WATER MAIN IN 4TH STREET WILL BE CONSTRUCTED FROM 101ST AVENUE EAST TO THE PROJECTED INTERSECTION OF 83RD AVENUE AND 4TH STREET. STUBS WILL BE PROVIDED AT BOTH ENDS FOR FUTURE EXTENSIONS.
2. ALL UTILITY MAINS AND SERVICES WILL BE CONSTRUCTED IN PHASE 2 AND ANY PONDS ASSOCIATED WITH THE STORM SEWER.
3. RESIDENTIAL LOTS WILL BE GRADED PER THE HOME BUILDERS REQUEST TO ACCOMMODATE PROPOSED FLOOR PLANS.
4. 101ST AVENUE WILL BE CONSTRUCTED FROM 7TH STREET NORTH TO 4TH STREET
5. 95TH AVENUE WILL BE CONSTRUCTED FROM 7TH STREET NORTH TO THE NE CORNER OF THE SITE WHERE 95TH ST VEERS EAST FROM SITE.
6. ALL INTERNAL ROADWAYS WILL BE CONSTRUCTED.
7. ALL WORK TO BE CONSTRUCTED PER CITY OF GREELEY ENGINEERING STANDARDS AND SPECIFICATIONS.
8. CALCULATIONS FOR SITE DETERMINED 8-INCH WATER MAIN IN 4TH ST REQUIRED. PER CITY OF GREELEY REQUIREMENTS, WATER MAIN WILL BE UPSIZED TO 12-INCH LINE.
9. PER CITY OF GREELEY REQUIREMENTS, SEWER MAIN WILL BE UPSIZED TO 30-INCH LINE.
10. 4TH STREET WILL BE CONSTRUCTED INCLUDING WATER AND SEWER MAINS IN PHASE 2. WATER MAIN WILL ALSO BE CONSTRUCTED IN PHASE 2 FROM 7TH ST TO 4TH ST IN 101ST AVE.
11. LAMP RYNEARSON HAS MODELED THE NON-POTABLE IRRIGATION LINE TO BE A PROPOSED 8-INCH LINE, AND WILL RUN PARALLEL TO THE POTABLE SYSTEM IN THE PROPOSED ROADWAYS. THE IRRIGATION WILL BE INSTALLED IN PHASE 2 AND TIE INTO THE STUBS FROM PHASE 1. STUB-OUTS WILL BE PROVIDED AT THE WEST PROPERTY LINE IN THE LOCAL ROADWAY AND AT THE EAST PROPERTY LINE AT THE INTERSECTION OF 95TH AVENUE AND THE PROPOSED LOCAL ROAD.

