



PLANNING COMMISSION

Agenda

September 10, 2019

**City Center South
1001 11th Avenue
1:15 p.m.**

I. Call to Order

II. Approval of minutes for meeting held on August 27, 2019

III. A public hearing to consider a request for the Promontory Imagine School, 2nd Filing, Preliminary and Final PUD (Planned Unit Development) on a 144.67-acre site

Project Name: Promontory Imagine School, 2nd Filing, Preliminary and Final PUD
Case No.: PUD2019-0010 and PUD2019-0011
Applicant: Tagg Inc., on behalf of the City of Greeley
Location: South of 16th Street, east of Promontory Parkway, north of Highway 34 Bypass
Presenter: Marian Duran, Planner II

IV. A public hearing to consider a request to amend the Preliminary Plan to add fire stations, schools and recreational area uses on a 144.67-acre site within the Promontory PUD (Planned Unit Development) Areas F, L and M only

Project Name: Promontory Preliminary PUD, Areas F, L, M 1st Amendment
Case No.: ZON2019-2011
Applicant: Tagg Inc., on behalf of the City of Greeley
Location: South of 16th Street, east of Promontory Parkway, north of Highway 34 Bypass
Presenter: Marian Duran, Planner II

V. A public hearing to consider a request for a Final PUD (Planned Unit Development) to allow a restaurant use at a 1.08-acre site located north of Centerplace Drive, south of 24th Street, and east of 46th Avenue

Project Name: Greeley Sports Bar Final PUD
Case No.: PUD2019-0005
Applicant: Robert Molloy, Planscapes
Location: North of Centerplace Drive, south of 24th Street, east of 46th Avenue
Presenter: Brittany Hathaway, Planner III

VI. A public hearing to consider a request to rezone approximately 5.50 acres of property located at 2600 36th Avenue from PUD (Planned Unit Development) to C-H (Commercial High Intensity) zoning

Project Name: 2600 36th Avenue –Gateway Self-Storage Rezone
Case No.: ZON2018-0005
Applicant: Jeff Engelman
Location: 2600 36th Avenue
Presenter: Darrell Gesick, Planner III

VII. Staff Report

VIII. Adjournment to Worksession: Energy Action Plan

PLANNING COMMISSION HEARING DATES:

All hearings are held on the 2nd and 4th Tuesdays of the month at 1:15 p.m. at City Center South, 1001 11th Avenue, Greeley, Colorado. Agendas are posted at <http://greeleygov.com/government/b-c/boards-and-commissions/planning>.

September 24, 2019
October 8, 2019
October 22, 2019
November 12, 2019

November 26, 2019
December 10, 2019
December 24, 2019



PLANNING COMMISSION

Proceedings

August 27, 2019

**City Center South
Council Chambers Room
1001 11th Avenue
1:15 p.m.**

I. Call to Order

Chair Yeater called the meeting to order at 1:17 p.m. Commissioners Schulte, Andersen, Modlin, Briscoe, Rarick and Romulo were present

II. Recognition of Jon Rarick

Chair Yeater recognized Commissioner Rarick for his 10 years spent serving on the Planning Commission. Chair Yeater expressed that Commissioner Rarick is a wealth of knowledge, and has been a personal mentor to him. Chair Yeater continued to congratulate him on his retirement. Commissioner Rarick addressed the Council and the public and thanked everyone for the support he has received throughout the years. He thanked the City of Greeley staff, as well as the citizens of Greeley for being supportive and respectful of the Planning Commission and its process over the years. Community Development Director Brad Mueller also thanked Commissioner Rarick on behalf of the City of Greeley staff for his insights and for his genuine heart and interest in our community. Mr. Mueller continued to say that Commissioner Rarick has a history of taking a good stance on difficult topics, and that he will be missed.

III. Approval of minutes for meeting held on July 23, 2019

Commissioner Modlin moved to approve minutes of the meeting held on July 23, 2019. Commissioner Briscoe seconded the motion. The motion carried 6-0.

IV. Approval of minutes for meeting held on August 13, 2019

Commissioner Andersen moved to approve minutes of the meeting held on August 13, 2019. Commissioner Modlin seconded the motion. The motion carried 6-0.

Chair Yeater recused himself for items V and VI and turned the hearing over to Vice-Chair Briscoe.

V. A public hearing to consider a request to rezone approximately 39.18 acres from R-L (Residential Low Density), C-D (Conservation District), and C-L (Commercial Low Intensity) to I-M (Industrial Medium Intensity)

Project Name: Best Way Rezone
Case No.: ZON2018-0017
Applicant: City of Greeley
Location: 145 North 35th Avenue
Presenter: Caleb Jackson, Planner II

Caleb Jackson, addressed the Commission and requested permission to combine the presentations for items V and VI since they are interrelated. Vice-Chair Briscoe approved. Mr. Jackson addressed the Commission and entered the staff report into the record with a minor revision. He presented the address, facts about the topography and drainage, and history about the site. Mr. Jackson also provided details about the location's surroundings and zoning, as well as the land use and what it is currently. He stated that the current zoning is Residential Low Intensity (R-L), Commercial Low Intensity (C-L), and Conservation District (C-D). He exhibited images of the current zoning scheme that mapped the location of the proposed rezone. Mr. Jackson explained that the proposal is to rezone the area from its current zoning to Industrial Medium Intensity (I-M). He stated that the purpose of the rezone is to allow for a Use by Special Review (USR) amendment of the fire training station USR, to allow an increase in outdoor storage from three to five acres.

Mr. Jackson spoke about rezone criteria and how development has changed since the initial USR, and why the area would be best suited for an I-M zoning. He stated that the zoning has been in place since 2003, and since no development has occurred under that zoning besides the fire training facility, further development of this site and city ownership is unlikely. Mr. Jackson expressed that although there are no significant environmental impacts to the area and the noise is regulated by municipal code, staff is recommending that a condition be added to the USR to limit morning noise. This would bring the area into alignment with municipal standards by having quiet hours between 10 p.m. and 7 a.m.

Mr. Jackson went into further detail of the proposal and its mitigated visual impacts by advising that adequate fencing and landscaping, as well as adequate city infrastructures are already present. The rezone is also consistent with the Comprehensive Plan, encourages compact growth, and aids with the city's construction and maintenance of construction. Mr. Jackson noted that notifications were mailed to nearby property owners and signs were posted on the property. The city did receive three inquiries that were favorable or neutral, and one very unfavorable inquiry that was primarily related to the morning time noise. This citizen inquiry is what prompted the proposed condition on the USR amendment. Staff's recommendation on the zoning action is approval.

Mr. Jackson explained that the USR amendment is to revise the USR that was approved for the fire training facility to add outdoor storage as an additional principal use for the site. He went into detail regarding the landscaping and fence surrounding the existing asphalt recycle area and along 4th Street. Mr. Jackson noted that once again the proposal is consistent with the Comprehensive Plan and is compatible with the current industrial uses that are on site. He also stated that impacts to the neighborhood are expected to be

mitigated appropriately, and that there are no predicted traffic or parking issues that will arise due to the USR. The city received the same inquiries as before in response to the notifications that were mailed and signs that were posted. Staff recommends approval with the condition that hours of operation be limited to between 7 a.m. and sunset. Mr. Jackson then opened the floor for questions.

Commissioner Andersen asked what is included for outdoor storage. Mr. Jackson replied that it is specifically for recycled asphalt and equipment at this time. He advised that the usage information is included in the applicant's site plan and narrative. Commissioner Andersen questioned if there was going to be anything additional stored outside, and Mr. Jackson responded that at this time there will not be. Commissioner Andersen and Vice-Chair Briscoe requested more information regarding the nature of the recycled asphalt, including what exactly will be recycled and how that will affect the city. Mr. Jackson introduced Jerry Pickett, supervisor of the Streets Division on behalf of the City of Greeley to provide more insight. Mr. Pickett explained that the asphalt being recycled is leftover from city projects which is then ground up and used as a base material. He stated that the city is also the entity that manages the operation including the selling of material to contractors which is a great source of revenue.

Vice-Chair Briscoe opened the public hearing at 1:34 pm.

Ellen McGurk who lives on West 40th Street in Greeley, CO stated that this would affect her property and asked what the noise level would be from 7am-10pm.

Tracy Trentlage at 3914 West B Street in Greeley, CO expressed concern about the noise and smoke in her backyard which adversely impacts her pets, her quality of life, and the property values in the area. Ms. Trentlage continued to say that she disagrees with the proposal and thinks it should be relocated to an area where it won't negatively affect the residents.

Dr. Elizabeth Clark at 17898 Weld County Road 72 in Eaton, CO stated that she is the owner of the veterinary hospital and the building that houses it. Dr. Clark expressed that her major concern is the entrance from 35th Avenue to the acreage that houses multiple businesses because there is only one entrance with limited areas for pedestrians. The current heavy flow of semi and truck traffic negatively impacts her clients, employees, pedestrians, and surrounding business owners. She is also concerned about the plans to expand 35th Avenue into four lanes, and asked for more information regarding the plans for a turn lane. Dr. Clark requested that Planning Commission take a closer look at the amount of current and future traffic in this area. Her final question was for clarification regarding the USR.

Since there were no more questions from the public, Vice-Chair Briscoe asked the City Staff to respond.

Mr. Jackson began by addressing the concern surrounding 35th Avenue. He confirmed that there are currently plans to widen 35th Avenue, and advised that turn lanes would be provided where warranted by traffic study and analysis. In regards to comments about the smoke, it is most likely being produced by the fire training facility. Finally, Mr. Jackson responded to the complaints concerning noise levels. He noted that there haven't been any noise studies conducted, but any noise levels would still be subject to the Municipal Code

standards for noise. He reiterated that the condition that is being recommended will aid in the area being in alignment with those standards of noise being allowed outside of normal hours.

Vice-Chair Briscoe requested that concerns about trash and dumping be addressed by Mr. Pickett. Commissioner Andersen asked if the driveway is paved, and Mr. Jackson responded that it is paved near 35th Avenue, but eventually turns into an unpaved drive. Commissioner Schulte raised concerns regarding dust abatement. Mr. Jackson clarified that the majority of the road is paved and therefore dust should not be an issue. Commissioner Romulo asked for an update on the traffic studies for 35th Avenue. Mr. Jackson deferred this and further questioning to Joel Hemesath, Director of Public Works. Mr. Hemesath provided more information and insight into the area's traffic and construction plans for 2021. He also spoke about the primary functions and history of the asphalt recycle facility. He noted that the operation only grinds raw material twice a year, usually in spring and fall, and there would be no increase in noise levels from what it has been the last 2 ½ years since the facility opened.

Mr. Hemesath stated that the operation began as an asphalt storage facility, but has continued to grow which is why the applicant is now requesting the rezone to bring the location into compliance. Commissioner Andersen clarified that the facility has been operating in the incorrect zoning. Mr. Hemesath reiterated that the facility began as a small storage center but has since expanded.

Commissioner Andersen asked if there is a different location where this could take place. Mr. Hemesath stated that he is not aware of one, especially since the current site serves its purpose very well. Mr. Hemesath also communicated that the noise produced by the operation is minimal in his opinion. Commissioner Andersen asked if a noise study could be done, and Mr. Hemesath advised that yes, one can be conducted.

Commissioner Schulte requested clarification regarding if the purpose of the amendment was to allow for expansion of the facility or if it is to accommodate the existing operation. Mr. Hemesath answered that the proposed rezoning will bring the current operation into compliance, and as of right now there are no plans for expansion. He continued by providing a more detailed explanation of the daily activity that occurs at the site. Mr. Pickett stepped forward to give more information about the truck volume and traffic flow of the area.

Commissioner Modlin asked whether changes could be made in the event a noise study warrants change to bring the operation into compliance. Mr. Pickett replied that yes, however, he does not believe that the noise level is currently out of alignment with City Ordinance. Commissioner Schulte had follow up questions regarding what the current ordinance is for noise level within the city. Community Development Director, Brad Mueller, advised that there is currently no decibel threshold. He further explained that if there was a noise complaint the responding police officer would have the authority to make the decision as to whether the noise level is in compliance. Commissioner Romulo asked how that information would be reflected in a noise study. Mr. Mueller replied that it would identify major noise sources and the city would respond to the data appropriately.

Commissioner Andersen requested further detail regarding the current zoning and its history, as well as the possibility of more noise buffering. Mr. Jackson provided more information. Commissioner Romulo questioned how accurate a noise study would be considering that grinding only occurs twice a year. Mr. Jackson advised that the applicant would conduct grinding for the purpose of the study. Commissioner Modlin asked the Vice-Chair if the motion could be tabled pending a noise study.

Commissioner Andersen expressed her concerns regarding the issue, specifically how inappropriate it is that the city is operating in a residentially zoned area. Mr. Hemesath responded with more history regarding the land's original use and zoning. He expressed that he understands that the zoning issue is a misstep on the city's behalf, but they are currently trying to rectify the situation. Mr. Mueller offered more clarification by stating that the fire station and fire facilities Use by Right in the current zoning districts do allow for accessory structures or incidental uses. Therefore, the minimal storage and stockpiling of asphalt that originally occurred on site did comply with the zoning. He advised that considering how much the facility has expanded, it is now at the point where a rezone request is necessary. He reiterated that the land use and the facility being classified as incidental are matters that are open to interpretation, and he wants to clarify that it was never operating illegally.

Commissioner Romulo requested that the noise study include sound comparisons to objects that we are familiar with such as a lawn mower, since there is currently no decibel threshold to reference. She would also like potential options for noise mitigation to be included. Mr. Hemesath advised that he will include those items in the study.

Commissioner Modlin made a motion to continue the case pending a noise study. Commissioner Schulte seconded. Mr. Mueller stated that the Planning Commission needs to clarify which item they are asking to continue since they need to vote on them separately. He also recommended that there be a stipulation placed on the motion, mandating that any identified mitigation elements that are identified by the noise study be implemented as a condition of the rezoning or USR.

Commissioner Romulo questioned what action the city will take if the issue is tabled. Mr. Mueller advised that it is subject to his discretion and whether he believes the current facility uses are accessory. He stated that at this point he has determined that they are, and therefore, any current operations can continue. Commissioner Schulte expressed that he would like to choose a date for when the motion will continue instead of leaving it subject to the results of the noise study. Commissioner Modlin made a motion to continue item V to November 12, 2019 pending the noise study, any possible remedies for noise abatement, and a copy of the planned design for 35th Avenue. Commissioner Schulte seconded the amended motion. Motion passed 6-0.

VI. A public hearing to consider a Use by Special review amendment request to allow outdoor storage on a 39-acre site

Project Name: 1st Amendment to the Greeley Emergency/Fire Training Facility
USR
Case No.: USR2018-0025
Applicant: City of Greeley
Location: 145 North 35th Avenue
Presenter: Caleb Jackson, Planner II

Vice-Chair Briscoe opened the public hearing at 2:20 p.m. Ellen McGurk expressed that she was under the impression that this property was going to be converted into a city park with a lake. Justin Yeater (speaking as a citizen) at 131 and 135 N 35th Avenue Greeley, CO advised that he owns the landscaping business on this property. Mr. Yeater stated that he encourages the Planning

Commission to evaluate the truck traffic and the design for 35th Avenue. He also encourages the city to present photographs of the site and a 3D model of the area to demonstrate what the area currently looks like. He wants the city to be presented with 3D drawings of what the site looks like.

Since there were no other comments from the public, Vice-Chair Briscoe turned the hearing back to Planning Commission. Commissioner Schulte moved to continue item VI until November 12, 2019. Commissioner Modlin seconded the motion. Motion passed 6-0.

VII. A public meeting to consider a preliminary subdivision of 26.6 acres of land, which includes the dedication of rights-of-way for future public streets

Project Name: Clover Meadows Subdivision, 1st Amendment, Preliminary
Subdivision
Case No.: SUB2018-0196
Applicant: Roche Constructors, Inc.
Location: South of C Street, east and west of 30th Avenue
Presenter: Marian Duran, Planner II

Marian Duran addressed the Commission and entered the staff report into the record. Ms. Duran outlined her presentation and advised that she will note any differences. She provided a history of the area accompanied by various plat sheets. The Administrative Review Team has approved the proposal. Ms. Duran opened the floor for questions. Chair Yeater resumed his place at 2:30 p.m. Commissioner Andersen requested clarification regarding setbacks, as well as of one of the sheets. Ms. Duran provided additional details.

Chair Yeater opened the public hearing at 2:35 p.m. There being no public input, the hearing was closed at 2:35 p.m.

Commissioner Andersen stated that based on the application received and the preceding project summary and analysis, along with the deviations from the following Development Code Standards in Sections 18.38.070 and 18.42.040 (9), the Planning Commission finds that the Clover Meadows Preliminary Subdivision, 1st Amendment, complies with the provisions of Section 18.04.440(d) 1 and 2, of the Subdivision Regulations, Development Code, and Comprehensive Plan, and therefore, approves the request as presented. Commissioner Rarick seconded. Motion passed 6-0.

VIII. Staff Report

Planning Manager Michael Garrott introduced new Commissioner Brian Franzen.

IX. Adjournment to Worksession: Site Plans / Design/Street Master Plan Update

The hearing was adjourned at 2:38 p.m.

Justin Yeater, Chair

Brad Mueller, Secretary

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PLANNING COMMISSION SUMMARY

ITEMS: Promontory Rezone PUD – 1st Amendment to Areas F, L, and M and Preliminary and Final Plat

FILE NUMBERS: ZON2019-0012
PUD2019-0010
PUD2019-0011

PROJECT: Promontory Preliminary PUD, Areas, F, L, M, Rezone PUD – 1st Amendment to Areas F, L, and M
Promontory Imagine School, 2nd Filing, Preliminary PUD
Promontory Imagine School, 2nd Filing, Final PUD

LOCATION: Approximately 400 feet from the intersection of Promontory Parkway and the future 20th Street alignment (18th Street is to the west)

APPLICANT: City of Greeley, on behalf of Tagg, Inc.

CASE PLANNER: Marian Duran, Planner II

PLANNING COMMISSION HEARING DATE: September 10, 2019

PLANNING COMMISSION FUNCTION:

The Planning Commission shall consider the staff report, along with testimony and comments made by the applicant and the public and shall then make a recommendation to the City Council for the Rezone PUD 1st Amendment to Areas F, L, and M as well as the and the Preliminary PUD request, which includes a review of the Preliminary Plat based on the review criteria in Sections 18.30.050(c)(3) and 18.32.040 (b)(1-2), and the Planning Commission shall take action on the Final PUD request, based on the review criteria in Section 18.32.140 (1).

EXECUTIVE SUMMARY

A request for the City of Greeley, on behalf of Tagg, Inc., for a PUD amendment, to add fire stations and schools as allowed uses within the Promontory PUD, Areas F, L, and M. Also included are the Promontory Imagine School, 2nd Filing, preliminary and final plat which are reviewed as a part of the PUD Amendment. The Promontory Imagine School, 2nd Filing plat consists of approximately 144.67 acres total (Lot 1, being 2.507 acres, Tract A, being 94.231 acres, and Tract B, being 40.920, and the future 20th Street right-of-way alignment, being 7.012 acres) (*see Attachment A – Vicinity Map, Attachment B – Preliminary Plat and Final Plat, and Attachment C – Promontory PUD – 1st Amendment Document*).

A. REQUEST

The applicant is requesting approval of the PUD Amendment to add fire stations and schools as allowed uses in Areas F, L, and M. Also included with this request is preliminary and final plat, to create one buildable lot for the fire station and two tracts for future development. (see *Attachment A – Vicinity Map, Attachment B – Preliminary Plat and Final Plat, and Attachment C – Rezone Promontory PUD – 1st Amendment to Areas F, L, and M Document*).

B. STAFF RECOMMENDATION

Approval. Three recommended motions in Section K, below.

Item K.1 (Rezone PUD – 1st Amendment to Areas F, L, and M Request)

Recommended Motion by Planning Commission, Approval by City Council

Item K.2 – (Preliminary PUD Request, which includes a review of the Preliminary Plat)

Recommended Motion by Planning Commission, Approval by City Council

Item K.3 – (Final PUD Request, which includes a review of the Final Plat)

Approval by Planning Commission

C. LOCATION

Abutting Zoning:

North: PUD (Planned Unit Development)

South: PUD (Planned Unit Development)

East: PUD (Planned Unit Development)

West: PUD (Planned Unit Development)

Surrounding Land Uses:

North: Vacant land

South: Future 20th Street Alignment and vacant land

East: Vacant land

West: Promontory Parkway and vacant land

Site Characteristics:

The site is currently undeveloped with a 13-foot approximate topographical/grading difference from west to east. There are no current right-of-ways dedicated previous to this request. The subject area has remained largely vacant, no development has occurred in areas F, L, M to date.

D. BACKGROUND

The parcels were annexed into the City in 1985 as part of the Golden Triangle Second Annexation [*File No. PUD 2:85*], which consisted an area of approximately 1,701 acres. The intent of the concept PUD was to allow for mix-use development, including open space, residential, commercial, industrial, and recreational uses. The conceptual PUD plan shows light industrial development, business office, park, and commercial uses on the southern portion of the PUD area that transitioned to various densities of residential and recreational/open space uses to the north.

In 1997, the City Council approved an amendment, which broke the Golden Triangle Concept PUD from one PUD into six PUDs [*File No. PUD 11:97*]. The amendment was intended to

streamline the PUD approval process. Under the 1976 Development Code, PUD actions required all land owners to sign off on development plans. Understanding that the signature requirement could be cumbersome for future amendments, the concept PUD was split into six smaller PUDs and assigned each a set of allowed uses based on the concept PUD plan. The subject site is located in the Golden Triangle Concept PUD #1. In accordance with the Golden Triangle Concept PUD, PUD #1 allowed industrial uses only.

On December 1, 1998, the City Council approved an amendment to the Golden Triangle PUD, which rezoned the subject properties from PUD (Golden Triangle) to PUD (Tri-Pointe), [*File No. PUD 8:98*]. The Tri-Pointe PUD encompassed an area of 668.72 acres. The conceptual plan as approved, allowed for a mixture of land uses, varying from residential, institutional, corporation headquarters, general commercial, and a requirement for the dedication of parks, schools, and fire station location, but did not list fire stations and schools as allowed uses. From the minutes of the hearing, the applicant (Craig Harrison), agreed to provide “a 10 acre-park, a 1 ½ acre fire station site to the City of Greeley, and a 10-acre site for an elementary school to the Windsor School District.” “The park and school sites would adjoin each other, the land that is dedicated would not include any water rights or on-site infrastructure.”

The permitted uses within the Tri-Pointe PUD (aka Promontory PUD), Area F, L, M allows for the following uses: Open space, parks, and the extension of lake Area E, single-family, multi-family, two-family, and townhouse dwellings, as well as banks, savings and loans, financial institutions, ATM’s, drive-up window, medical and dental offices/clinics, hotel and motels, offices, recreational uses, restaurants, and retail sales not to exceed 40,000 square feet.

On March 16, 1999, the City Council approved an amendment to the Tri-Pointe PUD [*File No. PUD 3:99*], the PUD was amended and the name of the PUD was formally changed to Promontory. This amendment also capped the amount of retail to 84.54 acres, increased the residential acreage cap from 200 acres to 250 acres (a minimum of 900 dwelling units), increased the height allowance for office/business uses from 40 feet to 70 feet and 60 feet for industrial uses, and required of the developer to dedicate a 10 acre park and a minimum of 1.5 acres for a fire station location

On December 21, 1999, the City Council approved modifications to the hearing held on March 16, 1999. At this hearing, the Council approved the proposed detached sidewalks, and site and building design standards, lighting standards, parking in non-residential areas to exceed 125 percent of the requirement, added a requirement for bicycle parking required, off-street parking regulations and landscaping to comply with the City’s Development code, and modified the requirement of signatures to submit PUD for approvals. Under the revision, each land owner would be able to sign a letter of waiver, “forfeiting their rights, which would allow future PUD’s be signed only by those pre-approving the PUD when they buy land. This proposal would be in lieu of application for final PUD approvals being submitted by the property owner, metro district, and 75 percent of all property owners owning 75 percent of the land within that tract or sub-tract.” Thereby, allowing individual property owners within the individual tracts or PUD amendment to be submitted by the applicant only, and it does not requiring the metropolitan district’s signature of approval, so long as and provided that, the district does not own land within the tract or area.

In 1999, the City of Greeley approved two metropolitan districts that serve the Promontory development, which are known as Tri-Pointe Commercial District and Tri-Pointe Residential District [MD 1:99].

E. APPROVAL CRITERIA

REZONE PROCEDURES

FOR PLANNING COMMISSION AND CITY COUNCIL REVIEW

Development Code, Section 18.30.050(c)(3), Criteria Used

For the purpose of establishing and maintaining sound, stable and desirable development within the City, the rezoning of land is to be discouraged and allowed only under circumstances provided for in this Section [of the Code]. This policy is based on the opinion of the City Council that the City's zoning map is a result of a detailed and comprehensive appraisal of the City's present and future needs regarding land use allocation and other zoning considerations, and, as such, should not be amended unless to correct manifest errors or because of changed or changing conditions in a particular area of the City in general:

- a) **Has the area changed, or is it changing to such a degree that it is in the public interest to rezone the subject property to encourage development or redevelopment of the area?**

Staff Comment: A rezone is requested to allow fire stations and school uses in Areas L, M, N of the Promontory PUD. Since the zoning in 1998, two major headquarters have been constructed and over 300 single-family lots have been developed within the Promontory development. The subject properties have remained undeveloped for over 20 years, without any land use approvals or requests. The applicant has stated that the limited land use options has impacted the ability to develop and is now requesting institutional uses such as a fire stations and schools be specified in the PUD. As such, the applicant is requesting to include fire stations and schools to allow the construction of Fire Station No. 6, specifically in area L. It is also anticipated that a future school site may be located within areas F, L, or M. Although the exact location of where a school would be located is uncertain at this time, allowing this use would open up future opportunities for the Windsor School District to develop a school or schools within these areas.

The proposal complies with this criterion.

- b) **Has the existing zoning been in place for at least fifteen (15) years without substantial development resulting and does the existing zoning appear to be obsolete, given development trends?**

Staff Comment: The subject site has been zoned Planned Unit Development (PUD) for over nearly 20 years, without any development within the sites.

The zoning designation does not appear to be obsolete, however, adding additional uses to the sites would provide more opportunities for development.

The proposal complies with this criterion.

c) Are there clerical or technical errors to correct?

Staff Comment: There are no clerical or technical errors to correct.

This criterion is not applicable to this request.

d) Are there detrimental environmental impacts, such as flood plains, inadequate drainage, slopes, unstable soils, etc., that may affect future development of this site and which may not have been considered during the original zoning of the property?

Staff Comment: The site does have a grade difference of about 13 feet from east to west, but the site is developable. There are no known detrimental environmental conditions on the property.

This criterion is not applicable to this request.

e) Is the proposed rezoning necessary in order to provide land for a community related use, which was not anticipated at the time of adoption of the City's Comprehensive Plan; or have the policies of the City changed to the extent that a rezoning is warranted?

Staff Comment: The rezone request is not necessary to provide land for community related uses.

This criterion is not applicable to this request.

f) What is the potential impact of the proposed rezoning upon the immediate neighborhood and the city as a whole (including potential noise and environmental impacts, visual impacts, the provision of City services such as police, fire, water, sewer, and pedestrian systems and parks and recreational facilities)?

Staff Comment: It is not anticipated that the proposed zoning would create significant impacts on the property or adjacent land uses.

Any potential noise created by future development would be regulated by the Municipal Code. The appropriate buffering would be required to be provided, which lessens any potential visual impacts. City services should not be impacted, since the surrounding area is already served by municipal services such as

water and sewer. Police and Fire already serve this area within 4-miles of the site.

The proposal complies with this criterion.

g) Is there clear and convincing evidence that the proposed rezoning would be consistent with the policies and goals of the City's Comprehensive Plan and comply with the applicable zoning overlay requirements?

There are no existing zoning overlays and/or zoning overlay requirements for the subject property. The following City of Greeley Imagine Greeley Comprehensive Plan policies apply to this request:

Education, Health, and Human Services:

- ***EH-2.4 Land Use*** – Promote land use decisions that support walkability and improve access to basic needs, such as neighborhood markets or grocery stores, parks and natural areas, as well as medical and personal services. Support access to goods and services that support health and wellness in all neighborhoods.
- ***EH-4.2 School Siting*** – Collaborate with the school districts in developing long-range school siting plans. Encourage new schools on sites that are:
 - Located near the population they are intended to serve;
 - Co-locate with or near existing facilities and amenities that provide opportunities for shared use and capital improvements, such as City parks;
 - Separated from potential land use hazards or nuisances;
 - Served by transportation options (e.g. roadways, transit, bike path and sidewalks) that provide safe access to and from school; and
 - Sites so as to minimize impacts on the surrounding neighborhood or area and existing transportation network.

Growth & City Form:

- ***GC-1.3 Adequate Public Facilities*** – Restrict development to the Adequate Public Facilities Area (APFA) except where the developer provides the equivalent level, or cash-in-lieu at a rate determined by the City, to install infrastructure that would otherwise be provided by the City.

Staff Comment: The Imagine Greeley Comprehensive Plan strongly supports compact growth development within areas that are adequately served by services. When Promontory was created, the vision was at a grand scale, which enabled development to expand to the western fringe of the City, but many services at the time were not adequate. Services such as water and sewer were extended, but fire and police are still outside of the normal emergency response times, thus, making these services inadequate even

though they are currently servicing the existing surrounding uses. The addition of schools and fire stations allows for other development options for the area.

The proposal complies with this criterion.

h) What is the potential impact of the proposed rezoning upon an approved Zoning Suitability Plan for the property?

Staff Summary: The provided Zoning Suitability Map shows that the property can be development in accordance with the Development Code Standards (*see Attachment C – Rezone Promontory PUD – 1st Amendment to Areas F, L, and M Document*).

The proposal complies with this criterion.

**PLANNED UNIT DEVELOPMENT (PUD) ESTABLISHMENT
FOR PLANNING COMMISSION AND CITY COUNCIL REVIEW**

Development Code, Section 18.32.040 (b) 1-2, Criteria Used

In reaching recommendations and decisions as to rezoning land to the PUD district, the Planning Commission and the City Council shall apply the following standards in addition to the standards and procedures of Section 18.30.050 (noted above) applicable to the rezoning of land:

1. Area Requirements.

The area of a proposed PUD shall be of substantial size to permit its design and development as a cohesive unit fulfilling the stated purpose of these regulations and to establish the PUD as a meaningful part of the larger community.

Staff Comment: The site contains 144.67 acres; Section 18.32.040(b)(1) of the Greeley Development Code limits consideration for PUD establishment to a minimum of two (2) acres in size (*see Attachment B – Preliminary and Final Plat*).

The proposal complies with this criterion.

2. Is the proposed Preliminary/Concept PUD Consistent with the Land Use Chapter of the Comprehensive Plan?

A PUD proposal shall be found to be consistent with all applicable elements of the Land Use Chapter of the City's adopted Comprehensive Plan with respect to its proposed internal design and use, its relationship to adjacent areas, and the City as a whole before it may be zoned as a PUD.

The following City of Greeley Imagine Greeley Comprehensive Plan policies apply to this request.

Education, Health, and Human Services:

- ***EH-2.4 Land Use*** – Promote land use decisions that support walkability and improve access to basic needs, such as neighborhood markets or grocery stores, parks and natural areas, as well as medical and personal services. Support access to goods and services that support health and wellness in all neighborhoods.
- ***EH-4.2 School Siting*** – Collaborate with the school districts in developing long-range school siting plans. Encourage new schools on sites that are:
 - Located near the population they are intended to serve;
 - Co-locate with or near existing facilities and amenities that provide opportunities for shared use and capital improvements, such as City parks;
 - Separated from potential land use hazards or nuisances;
 - Served by transportation options (e.g. roadways, transit, bike path and sidewalks) that provide safe access to and from school; and
 - Sites so as to minimize impacts on the surrounding neighborhood or area and existing transportation network.

Growth & City Form:

- ***GC-1.3 Adequate Public Facilities*** – Restrict development to the Adequate Public Facilities Area (APFA) except where the developer provides the equivalent level, or cash-in-lieu at a rate determined by the City, to install infrastructure that would otherwise be provided by the City.

Staff Comment: The Imagine Greeley Comprehensive Plan strongly supports development that is adequate and serves the public locally. If the rezone request is approved, future school sites and fire stations would be allowed to be developed in closer proximity to the existing commercial and residential neighborhood at Promontory.

The proposal complies with this criterion.

FINAL PLANNED UNIT DEVELOPMENT (PUD)

FOR PLANNING COMMISSION REVIEW

Development Code, Section 18.32.140 (1), Criteria Used

In reaching recommendations and decisions as to rezoning land to the PUD district, the Planning Commission shall apply the following one standard in addition to the standards and procedures of Section 18.30.050 and 18.32.040 applicable to the rezoning of land:

1. Is the Final PUD Plan substantially in compliance with the approved Preliminary PUD Plan?

Staff Comment: The Final PUD plan is in accordance with the Preliminary PUD and the applicable Development Code as noted below. Subsequent amendments if in conformance with the Preliminary and Final, would be processed administratively. The Adequate Public Facility Area criteria has been analyzed and documented below:

Urban Growth and Adequate Public Facility Area (APFA)

The site is not located largely within a suburban developed area, but it is being adequately served by water, sewer, streets, and parks and trails. Full connection to the Sheep Draw Trail has not been accomplished until future development occurs between Promontory Parkway/20th Street and 83rd Avenue where the nearest trail system occurs. Fire and police are not adequate with respect to response times, but they are currently served by the Greeley Fire Station No. 7 station, which is approximately 3 to 4 miles away from the Promontory PUD area. The subject site is vacant and water and sewer mains would be required to be extended to the proposed site from adjacent services. A new fire station, which is what the rezone PUD Amendment request would open opportunities to develop a fire station in the Promontory area and hence, improve response times during actual emergency events for the existing neighboring residential homes and commercial businesses.

F. PHYSICAL SITE CHARACTERISTICS

1. SUBDIVISION HISTORY

The subject sites are part of the Promontory Subdivision, which was platted in 2000 [*Rec No. 2798115*].

2. HAZARDS

The Environmental Site Assessment (ESA) conducted on the site showed no potential hazards.

3. WILDLIFE

The site is not located in an area of ecological significance.

4. FLOODPLAIN

The property is not located within any flood zones. No major waterways are in the vicinity.

5. DRAINAGE AND EROSION

As one of the first sites developing in the southern portion of the PUD, drainage improvements to accommodate small offsite flows as well as the flows from the development of the area are required as part of the development. No major concerns on drainage and erosion have been found.

6. TRANSPORTATION

The subject sites can obtain access from Promontory Circle, 18th Street and future 20th Street alignment from Promontory Parkway and Highway 34 Business on the north or the

Highway 34 Bypass on the south. Adding schools and police uses should not negatively impact the area, but would improve the areas with respect to meeting the requirement for adequate public facilities.

G. SERVICES

1. WATER

The current subdivision has availability of services and with the additional utilities that would be used to serve the site and set up for future development, it would be adequately served

2. SANITARY SEWER

The current subdivision has availability of services and with the additional utilities that would be used to serve the site and set up for future development, it would be adequately served.

3. EMERGENCY SERVICES

The subject site is within the City of Greeley's Fire Protection area, the closest fire station is Station #7, which is located approximately 4.0 miles to the west (10th Street and 69th Avenue). A new fire station is tentatively scheduled to be completed in either the late summer or early fall of 2020 on Lot 1.

4. PARK/OPEN SPACES

No parks or regional open space areas are proposed with this rezone. Any future development projects would be required to evaluate the need to provide a park or regional open space.

5. SCHOOLS

No schools are proposed or located within the subject area at this time, but with this rezone, PUD amendment, school uses would be allowed. The properties are within the Windsor-Severance RE-4 School District. The schools that currently (or will) serve the area are: Skyview Elementary, Severance Middle School, Windsor High School, and Severance High School.

6. METROPOLITAN DISTRICT

As mentioned previously within this report. The Tri-Pointe Residential Metropolitan District serves this area.

H. NEIGHBORHOOD IMPACTS

1. VISUAL

There are no proposed site changes corresponding to the PUD amendment at this time.

2. NOISE

There are no proposed site changes corresponding to the PUD amendment at this time.

I. PUBLIC NOTICE AND COMMENT

Neighborhood notices were mailed to surrounding property owners on August 15, 2019 per Development Code requirements. Additionally, two public notice signs were posted on the subject site on August 30, 2019.

J. MINERAL ESTATE OWNER NOTIFICATION

Mineral notice requirements were satisfied with the previous land use applications.

K. PLANNING COMMISSION RECOMMENDED MOTIONS:

1. Rezone Request Planning Commission's Recommended Motion to City Council:

Based on the application received, the Project Summary, and accompanying analysis, the Planning Commission finds that the proposed rezone from PUD to PUD zone district, Promontory PUD – 1st Amendment to Areas F, L, and M to allow fire stations and schools in areas F, L, M, meets the applicable Development Code criteria, Section 18.30.050(c)(3) a, b, f, g, and h, and therefore, recommends approval of the rezone PUD Amendment to the City Council.

2. Preliminary PUD Request Planning Commission's Recommended Motion to City Council:

Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Promontory Imagine School, 2nd Filing, Preliminary PUD is consistent with Development Code criteria, Section 18.32.040 (b) 1 and 2, and, therefore, recommends approval of the PUD plan as submitted to the City Council.

3. Final PUD Request Planning Staff's Recommended Motion to Planning Commission:

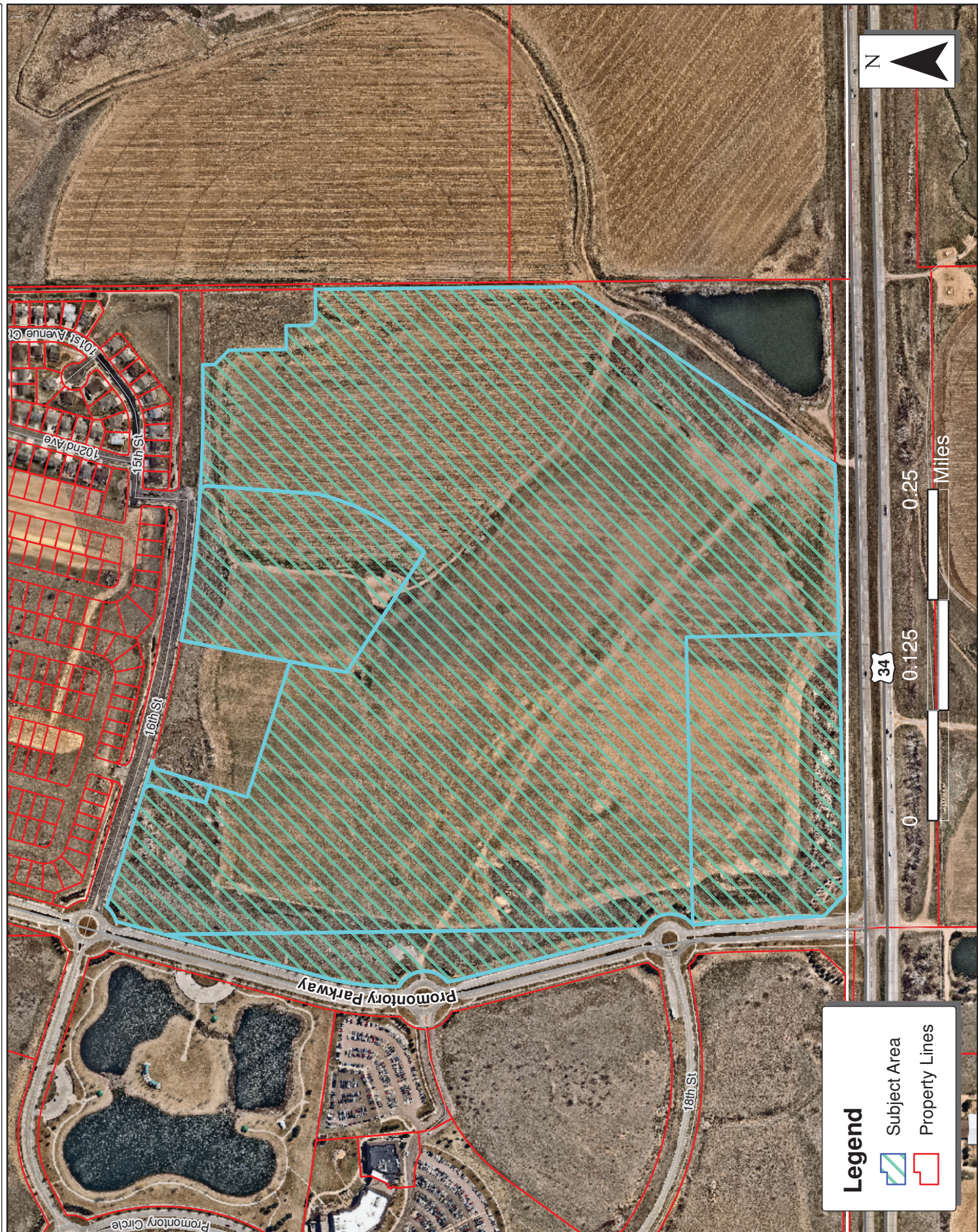
Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Promontory Imagine School, 2nd Filing, Final PUD is consistent with Development Code criteria, Section 18.32.140 (1), and approved Preliminary PUD plan, with the following condition and therefore approves the Final PUD plan as submitted:

- a. Approval of the Final PUD by the Planning Commission is contingent on City Council approval of the Preliminary PUD.

4. ATTACHMENTS

- Attachment A – Vicinity Map
- Attachment B – Preliminary and Final Plat
- Attachment C – Rezone Promontory PUD – 1st Amendment to Areas F, L, and M Document

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Legend

-  Subject Area
-  Property Lines

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PRELIMINARY PLAT OF

PROMONTORY IMAGINE SCHOOL SECOND FILING

A Replat of Tract A, Tract B and Outlot A, Promontory Imagine School First Filing,
Situate in the East Half of Section 11 and West Half of Section 12, Township 5 North, Range 67 West of the 6th P.M.,
City of Greeley, County of Weld, State of Colorado

DEDICATION

TAGG Inc, being the sole owner(s) in fee of:

Tract A, Tract B and Outlot A, Promontory Imagine School First Filing recorded August 29, 2006 as Reception No. 3415275 of the Records of Weld County, located in the East Half (E1/2) of Section Eleven (11) and in the West Half (W1/2) of Section Twelve (12), Township Five North (T.5N.), Range Sixty-seven West (R.67W.) of the Sixth Principal Meridian (6th P.M.), City of Greeley, County of Weld, State of Colorado.

Said described parcel of land contains 144.670 Acres, more or less (±).

shown on the attached map as embraced within the heavy exterior lines thereon, has subdivided the same into lots and blocks as shown on the attached map; and does hereby set aside said portion or tract of land and designate the same PROMONTORY IMAGINE SCHOOL SECOND FILING to the City of Greeley, Weld County, Colorado; and does dedicate to the public, the streets and all easements over and across said lots locations shown on said map; and does further certify that the width of said streets, the dimensions of the lots and blocks and the names and numbers thereof are correctly designated upon said map.

BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

Assuming the South line of Tract B, Promontory Imagine School First Filing, as bearing South 88°41'39" West, as monumented as shown on this plat, being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2011, a distance of 1711.56 feet with all other bearings contained herein relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot."

NOTICE

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (13-80-105 C.R.S. 2012)

TITLE COMMITMENT NOTE

This survey does not constitute a title search by King Surveyors to determine ownership or easements of record. For all information regarding easements, rights-of-way and title of records, King Surveyors relied upon Title Commitment Number FCC25167843, dated August 13, 2019 as prepared by Land Title Guarantee Company to delineate the aforesaid information.

FLOOD PLAIN NOTE

The subject property is in flood zone 'X', "areas determined to be outside the 0.2% annual chance of floodplain" per FEMA flood map 08123C1511E and 08123C1512E both revised January 20, 2016.

ZONING NOTE

The entire property is in Zone PUD, Planned Unit Development.

GENERAL NOTES

- All person who knowingly removes, alters or defaces any public land survey monument(s) or land boundary monument(s), or accessory commits a class two (2) misdemeanor pursuant to State Statute 18-4-508 CRS.
- For all replats where lot lines or street locations change, all existing water and sewer stub-outs, fire hydrants, etc. shall be relocated to their appropriate location. Water main and sanitary sewer collection designs in this replatted area must conform to current City of Greeley design criteria.
- A Development Agreement (Reception No. _____) has been filed in conjunction with Promontory Imagine School First Filing plat. That agreement should be viewed for additional stipulations or requirements that may encumber the property.

OWNER: TAGG, INC.
4221 BRIGHTON BLVD
DENVER, CO 80216

APPLICANT: CITY OF GREELEY
1000 10TH STREET
GREELEY, CO 80631

ENGINEER: SHORT ELLIOTT HENDRICKSON, INC. (SEH)
2000 SOUTH COLORADO BLVD.
TOWER ONE, SUITE 6000
DENVER, CO 80222

SURVEYOR: KING SURVEYORS
650 GARDEN DRIVE
WINDSOR, CO 80550
PHONE: (970) 686-5011

LAND USE TABLE

LOT 1	2.507 ACRES	2%
TRACT A	94.231 ACRES	65%
TRACT B	40.920 ACRES	28%
RIGHT OF WAY	7.012 ACRES	5%
TOTAL	144.670 ACRES	100%

LAND USE TABLE					
PARCEL	DESCRIPTION	DEDICATION	AREA	PERCENT	INTENDED OWNERSHIP/MAINTENANCE BY
LOT 1	FIRE STATION #6		2.507 ACRES	2%	CITY OF GREELEY
TRACT A	FUTURE DEVELOPMENT		94.231 ACRES	65%	PROPERTY OWNER
TRACT B	FUTURE DEVELOPMENT		40.920 ACRES	28%	PROPERTY OWNER
RIGHT OF WAY	PUBLIC USE		7.012 ACRES	5%	CITY OF GREELEY
TOTAL			144.670 ACRES	100%	



VICINITY MAP

SCALE: 1"=2000'

Attachment B

DATE:	5/28/2019
FILE NAME:	20180634SUB
SCALE:	1"=200'
DRAWN BY:	CSK
CHECKED BY:	PG

KING SURVEYORS
650 E. Garden Drive | Windsor, Colorado 80550
phone: (970) 686-5011 | email: contact@KingSurveyors.com



REVISIONS:	DATE:	5-28-19
LOT 1 MOVED & ADDITIONAL EASEMENTS	CSK	6-3-19
REVISED BOUNDARY		

PROMONTORY IMAGINE SCHOOL SECOND FILING
FOR
CITY OF GREELEY
1000 10TH STREET
GREELEY, CO 80631

PROJECT #:
20180634

1

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Signature of Owner _____

Witness my hand and seal this _____ day of _____ A.D. _____.

NOTARIAL CERTIFICATE

STATE OF _____)
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 20____,

by _____ as _____

Witness my hand and official seal. (SEAL)

My commission expires _____

Notary Public

CERTIFICATE OF APPROVAL OF THE CITY ENGINEER TO DEVELOPMENT REVIEW AND CIVIL INSPECTIONS MANAGER

Approved this _____ day of _____, 20____, by the City Engineer to Development Review and Civil Inspections Manager of the City of Greeley, Colorado.

City Engineer to Development Review and Civil Inspections Manager

CERTIFICATE OF APPROVAL BY THE COMMUNITY DEVELOPMENT DIRECTOR

Approved this _____ day of _____, 20____, by the Community Development Director of the City of Greeley, Colorado.

Community Development Director

SURVEYOR'S CERTIFICATE

That I, Paul B. Groves, do hereby certify that I prepared this plat from an actual and accurate survey of this land, including all existing right-of-way easements, and that the corner monuments shown thereon were properly placed under my supervision, in accordance with the regulations of the State of Colorado.

Paul B. Groves -- On Behalf Of King Surveyors
Colorado Licensed Professional
Land Surveyor #38209

BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

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DATE:	5/28/2019
FILE NAME:	20180634SUB
SCALE:	1"=200'
DRAWN BY:	CSK
CHECKED BY:	PG

KING SURVEYORS
650 E. Garden Drive | Windsor, Colorado 80550
phone: (970) 686-5011 | email: contact@KingSurveyors.com



REVISIONS:	DATE:	5-28-19
LOT 1 MOVED & ADDITIONAL EASEMENTS	CSK	6-3-19
REVISED BOUNDARY		

PROMONTORY IMAGINE SCHOOL SECOND FILING
FOR
CITY OF GREELEY
1000 10TH STREET
GREELEY, CO 80631

PROJECT #:
20180634

1

PROMONTORY IMAGINE SCHOOL SECOND FILING

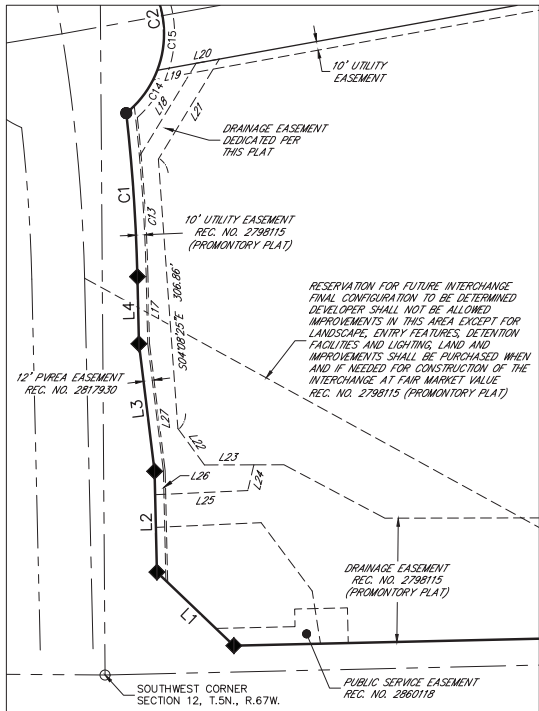
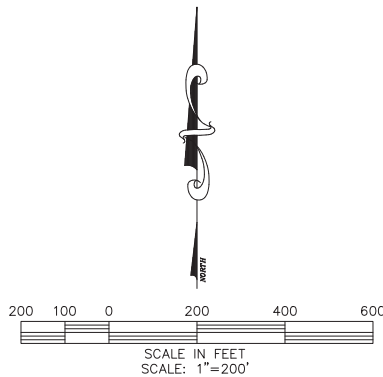
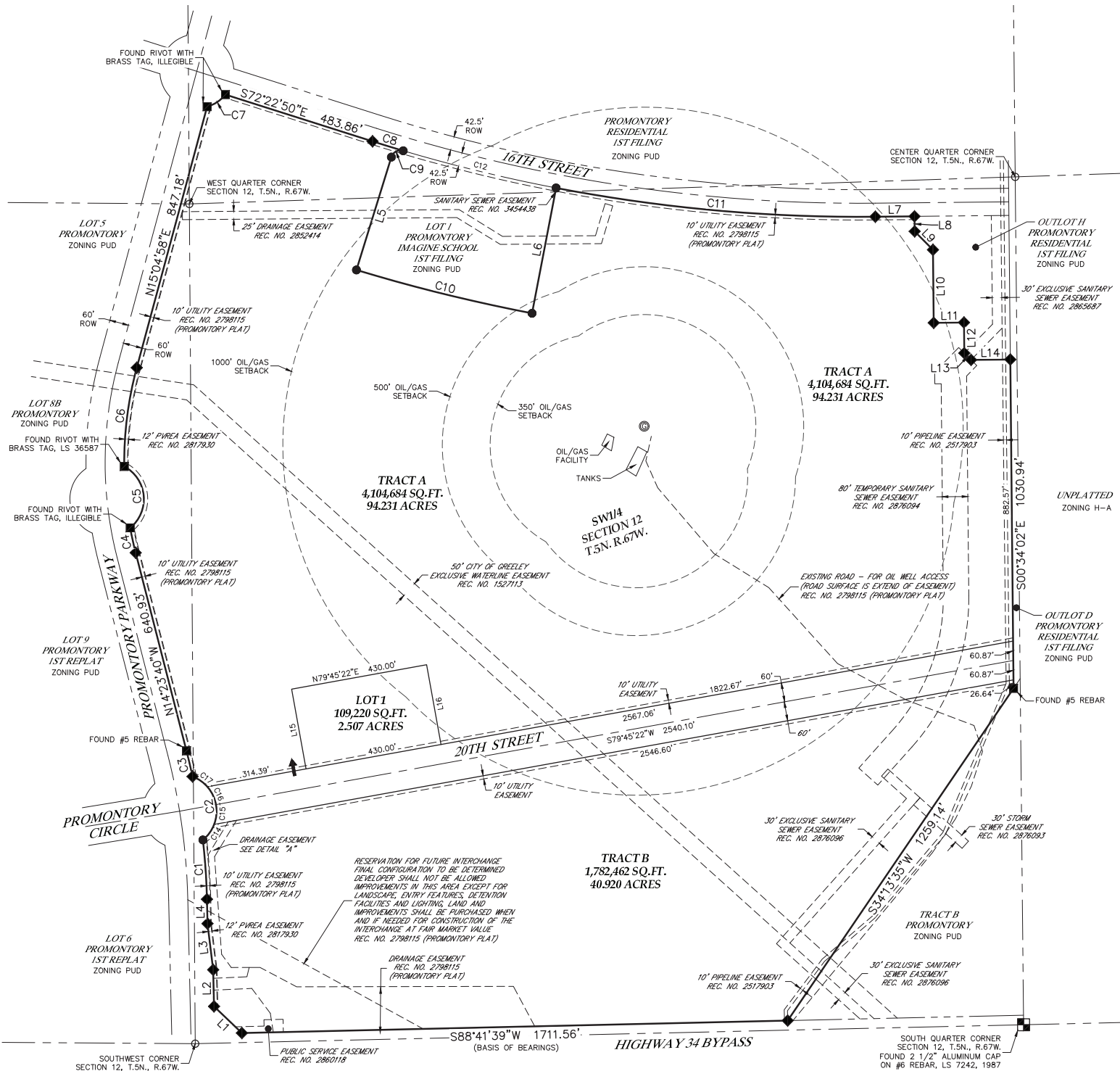
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LEGEND

-----	EASEMENT LINE
-----	CENTERLINE
-----	SECTION LINE
-----	RIGHT OF WAY LINE
-----	BOUNDARY LINE
■	FOUND ALIQUOT CORNER AS DESCRIBED
●	SET ALIQUOT CORNER AS DESCRIBED
■	FOUND MONUMENT AS DESCRIBED
◆	FOUND #5 REBAR WITH ORANGE PLASTIC CAP LS 15606
●	SET 24" OF #4 REBAR WITH A BLUE PLASTIC CAP STAMPED KS, LS 38209
○	CALCULATED POSITION
➔	FUTURE FULL ACCESS POINT

LINE TABLE		
LINE	BEARING	LENGTH
L1	N46°18'21"W	120.92'
L2	N01°18'21"W	114.56'
L3	N07°00'22"W	145.98'
L4	N01°18'21"W	76.34'
L5	S17°12'36"W	370.30'
L6	N10°52'20"E	400.00'
L7	N89°25'58"E	122.85'
L8	S00°34'03"E	47.00'
L9	S44°44'58"E	81.52'
L10	S00°34'02"E	228.74'
L11	N89°25'58"E	95.00'
L12	S00°34'02"E	96.04'
L13	S45°16'11"E	30.00'
L14	N89°25'58"E	122.90'
L15	N10°14'38"W	254.00'
L16	S10°14'38"E	254.00'
L17	S01°18'21"E	75.82'
L18	S31°19'59"W	123.86'
L19	S79°45'22"W	44.83'
L20	N79°45'22"E	26.74'
L21	S31°19'59"W	133.17'
L22	N36°06'31"W	51.26'
L23	N89°53'17"E	56.16'
L24	N13°25'21"E	30.05'
L25	N87°26'36"E	95.34'
L26	S01°18'21"E	26.82'
L27	S07°00'22"E	145.98'

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CH BEARING
C1	186.34'	2060.00'	5°10'58"	186.28'	N03°53'50"W
C2	244.01'	116.00'	120°31'28"	201.45'	N09°17'28"W
C3	82.72'	2060.00'	2°18'03"	82.71'	N13°14'38"W
C4	79.95'	1140.00'	4°01'05"	79.93'	N12°23'07"W
C5	228.58'	116.00'	112°54'10"	193.35'	N05°30'42"W
C6	312.97'	1140.00'	15°43'47"	311.99'	N07°13'05"E
C7	69.96'	116.00'	34°33'28"	68.91'	N56°39'24"E
C8	100.64'	5043.00'	1°08'36"	100.64'	S72°57'08"E
C9	46.74'	30.00'	89°15'59"	42.15'	S61°50'34"W
C10	567.35'	5443.00'	5°58'20"	567.09'	S76°08'39"E
C11	1006.61'	5043.00'	11°26'11"	1004.94'	S84°50'56"E
C12	493.48'	5043.00'	5°36'24"	493.29'	S76°19'38"E
C13	136.78'	2070.00'	3°47'09"	136.75'	N03°11'53"W
C14	60.87'	116.00'	30°04'03"	60.18'	N35°56'14"E
C15	63.06'	116.00'	31°08'51"	62.29'	N05°19'47"E
C16	63.06'	116.00'	31°08'51"	62.29'	N25°49'03"W
C17	57.02'	116.00'	28°09'43"	56.44'	N55°28'20"W



DETAIL "A"
SCALE: 1"=100'

Paul B. Groves - On Behalf Of King Surveyors
Colorado Licensed Professional
Land Surveyor #38209

DATE:
9/27/2018
FILE NAME:
20180634SUB
SCALE:
1"=200'
DRAWN BY:
CSK
CHECKED BY:
PG

KING SURVEYORS
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REVISIONS:
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LOT 1 MOVED & ADDITIONAL EASEMENTS CSK
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1000 10TH STREET
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20180634

2

SHEET 2 OF 2

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Promontory Planned Unit Development - 1st Amendment to Areas F, L, and M

TRI-POINTE

Mixed Use Development
Conceptual Master PlanAmendment to the Tri-Pointe Planned Unit Development
Submitted for Westfield Development Company

Zoning Notes

The Project shall be viewed as a single unit.

A waiver for the entire site shall be granted to allow development outside the Mid-Range Expected Service Area expressly contingent upon the issuance of a permit to a major employer for the construction of a minimum facility of 150,000 square feet intended to house at least 300 employees at the site, 500 at full build-out.

No residential or commercial construction shall be allowed until issuance of a building permit for the minimum size 150,000 square foot facility by a major employer.

No fewer than 900 residential units shall be constructed at ultimate build-out.

Any land dedication does not include any water rights.

Should the fire district not require the prescribed land at time of dedication, requirement to dedicate will be waived.

Height Limits: (a) Office uses: 70' excluding enclosed mechanical penthouses or screened rooftop appurtenances.

(b) Retail/Commercial Uses: 40' excluding screened rooftop appurtenances.

All final PUD approvals shall be granted by City Council unless Council approves a set of design guidelines applicable to the various planning areas or uses. In that event, Planning Commission may approve all PUD's governed by those approved guidelines.

This PUD is valid for a period of three years from the date of its approval. If a major employer does not meet the minimum requirements set forth in this PUD within the three year time frame, the entire PUD must return to City Council for review.

Planned Unit Development Criteria

The Tri-Pointe PUD Amendment of 10/16/98 is an amendment to the land uses and development criteria of the existing Tri-Pointe PUD.

Open space requirements are being met within Areas E and F and within the eventual parcel by parcel site plans.

Mixed Use

Land Uses as identified on this PUD may be combined to the extent identified within the land use mix language of this PUD to encourage a creative mixture of housing, work and shopping opportunities. Quantities and types of specific land uses will be determined at Site Plan of the individual parcels.

Uses not permitted at Tri-Pointe:

airports, heliports, auto dismantling, junk and salvage yards, bulk storage of flammable liquids and gases for resale, concrete, asphalt batch plants (unless temporary for construction purposes only), farm equipment, implement, diesel and fuel sales and storage, food processing, foundries, grain and feed elevators and supply, recycling centers, large collection and processing facilities, refuse transfer stations, rendering plants, slaughterhouse, meat processing, packaging, utility, commercial towers and cabinets over building height permitted by zone, transportation facilities, low impact, high impact, trucking and freight terminals, truck, trailer and large equipment rental, adult entertainment, kennels, auto dealer sales lots, bingo halls and parlors, livestock auction houses, builders, contractor supply offices and yards (except in the case of a Home Depot or Builder's Square type retail facility), flea markets, manufactured, mobile homes, sales lots, power shops, RV and travel trailer parks, stores, theme or amusement parks, zoos, warehousing uses with outdoor storage, mobile home parks, cemeteries, correctional facilities, emergency shelters, and missions.

Land Use Mix

The map indicates conceptual land use areas. As a conceptual map the ultimate physical boundaries of each area could change somewhat. Changes in final configuration will be allowed without a PUD amendment under the following circumstances:

1. The acreage allocated to a given land use category do not materially increase.
2. The basic concepts outlined within the plan do not materially change.
3. Total residential development does not exceed 250 acres.

Intent: To add Fire Stations and Schools as allowed uses in Areas F, L, and M.

Allowed Land Uses by Type

- Areas A and B Office**
- Banks, savings and loans, financial institutions, ATM's, drive-up windows
 - Medical and dental offices and clinics, massage therapists, medical supply stores and rental
 - Office and corporate headquarters
 - Parking lots and structures
 - Restaurants, deli, cafe, if contained within a primary use building
 - Churches and Schools (Area B only)
 - Recreational areas (Area B only)
- Area C Office/Commercial/Residential**
- Banks, savings and loans, financial institutions, ATM's, drive-up windows
 - Medical and dental offices and clinics, massage therapists, medical supply stores and rental
 - Commercial laundries and dry cleaning plants
 - Crematoriums
 - Manufacturing, fabrication, assembly
 - Newspaper and publishing plants, binderies
 - Office and corporate headquarters
 - Parking lots and structures
 - Recycling centers - small collection
 - Restaurants, deli, cafe, if contained within a primary use building
 - Research and testing labs
 - Retail sales only as an enclosed regional mall containing a minimum of two anchor stores and 400,000 square feet.
 - Multi-family residential not to exceed 25 acres within Areas C and D combined
 - Telecomm. uses
 - Satellite earth station antennas over 18 inches in diameter
 - Utility, comm. towers and cabinets less than building height permitted by zone
 - Low impact
 - High impact
 - Transportation facilities
 - Low impact
 - High impact
 - Utility service facilities
 - Less than 300 sq. ft., no office or storage space
 - More than 300 sq. ft., no office or storage space
- Area D Office/Commercial/Residential**
- Animal uses - veterinary clinics (no outdoor runs)
 - Art, dance, photo studios, galleries
 - Auto uses, car wash
 - Banks, savings and loans, financial institutions, ATM's, drive-up windows
 - Bars, taverns, nightclubs, lounges
 - Bowling alleys
 - Brew pubs
 - Commercial laundries and dry cleaning plants
 - Convenience stores with or without gas sales
 - Crematoriums
 - Dry cleaning (no cleaning on-site)
 - Farmers markets
 - Gas stations
 - Gas stations with repair, lube and tire shops
 - Golf uses - Golf courses, country clubs, driving ranges, miniature golf
 - Laundromats
 - Lodging - Bed and Breakfast, hotels, motels
 - Manufacturing, fabrication, assembly
 - Medical and dental offices and clinics, massage therapists, medical supply stores and rental
 - Movie theaters, indoor theaters
 - Newspaper and publishing plants, binderies
 - Nurseries, greenhouses, garden shops
 - Offices and corporate headquarters
 - Parking lots and structures
 - Personal service shops (beauty, barber, tanning and nail salons, shoe repair)
 - Pet stores
 - Printing, copying shops, mail centers
 - Radio and TV stations with antennas lower than 30 feet
 - Recreation uses - Community recreation buildings, indoor, outdoor extensive (skating rinks, bowling alleys, video arcades, tennis courts, etc.), members clubs, health clubs, martial arts studios, open space, park (pocket), park (neighborhood), park (comm/reg)
 - Recycling centers - small collection
 - Restaurants - cafes, and other eating establishments (including outdoor seating/eating areas), drive-in or drive-thru facilities (including outdoor seating/eating areas), drive-in or drive-thru facilities
 - Retail sales - under 3,000 square feet, 3,000 to 40,000 square feet, large retail (over 40,000 square feet), including a regional mall
 - Auditoriums, sports arenas, stadiums
 - Research and testing labs
 - Multi-family residential not to exceed 25 acres, within Areas C and D, combined
 - Telecomm. uses
 - Satellite earth station antennas over 18 inches in diameter
 - Utility, comm. towers and cabinets less than building height permitted by zone
 - Low impact
 - High impact
 - Transportation facilities
 - Low impact
 - High impact
 - Utility service facilities
 - Less than 300 sq. ft., no office or storage space
 - More than 300 sq. ft., no office or storage space
- Area E Open Space**
- This area is intended to be retained as open space to be developed as a park with lake, trails, and improvements associated with same.
- Area F Open Space**
- To be dedicated to City for parks, open space, and the extension of lake within Area E - Schools, and Fire Stations
- Areas H and N Commercial**
- Animal uses - veterinary clinics (no outdoor runs)
 - Art, dance, photo studios, galleries
 - Auto uses, car wash
 - Banks, savings and loans, financial institutions, ATM's, drive-up windows
 - Bars, taverns, nightclubs, lounges
 - Bowling alleys
 - Brew pubs
 - Convenience stores with or without gas sales
 - Dry cleaning (no cleaning on-site)
 - Gas stations
 - Gas stations with repair, lube and tire shops
 - Laundromats
 - Personal service shops (beauty, barber, tanning and nail salons, shoe repair similar)
 - Pet stores
 - Printing, copying shops, mail centers
 - Membership clubs, health clubs, martial arts studios
 - Restaurants - Cafes, and other eating establishments (including outdoor seating/eating areas), drive-up windows
 - Retail sales - Under 3,000 square feet, 3,000 to 40,000 square feet, large retail (over 40,000 square feet)
- Areas J, K, L, and M Residential**
- Single family dwellings
 - Multi-family dwellings
 - Two family dwellings
 - Townhouse dwellings
 - The following uses, not to exceed 15% of the acreage contained within each Planning Area:
 - Banks, savings and loans, financial institutions, ATM's, drive-up windows
 - Medical and dental offices and clinics
 - Hotel, motel
 - Office
 - Recreation uses - Community recreation buildings, indoor, outdoor extensive (skating rinks, bowling alleys, video arcades, tennis courts, swimming pools, etc.), membership clubs, health clubs, open space, (pocket), park (neighborhood), park (comm/reg)
 - Restaurants
 - Retail sales not to exceed 40,000 square feet
- Schools, and Fire Stations**

Planning Concepts:

1. Provide a mixed use activity center with a unique identity.
2. Maintain the ability to adjust land uses.

Notes: A minimum 10 acre school site and 1.5 acre Fire Station site will be dedicated to the City out of the residential area. The exact location and

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PLANNING COMMISSION SUMMARY

ITEM: Final PUD (Planned Unit Development)

FILE NUMBER: PUD2019-0005

PROJECT: Greeley Sports Bar - Final Planned Unit Development (PUD)

LOCATION: Lot 1 Suffolk Subdivision 5th Filing, east of the intersection of Centerplace Drive and 46th Avenue

APPLICANT: Robert Molloy, Planscapes, on behalf of Shan I LLC

CITY PLANNER: Brittany Hathaway, Planner III

PLANNING COMMISSION HEARING DATE: September 10, 2019

PLANNING COMMISSION FUNCTION:

The Planning Commission shall consider the staff report, along with testimony and comments made by the applicant and the public and review the proposal for compliance with Chapter 18.32 of the Development Code and approve, approve with conditions, or deny the request. The Planning Commission decision shall be based on a finding that the Final Plan is in substantial conformance with the approved Preliminary Plan.

EXECUTIVE SUMMARY

The City of Greeley is considering a request by Robert Molloy on behalf of Shan I LLC for a Final PUD (Planned Unit Development) to develop a restaurant within the Suffolk PUD, Lot 4 3rd Amendment. The Final PUD is the second step in the two (2) stage PUD process.

A. REQUEST

The applicant is requesting approval of a Final PUD to add a 4,700 square-foot restaurant with a total land use of 46,934 square feet or 1.08 acres. *See Attachment A - Vicinity Map and Attachment C - Site Plan.*

Presently, the subject site hosts Homewood Suites by Hilton at 2510 46th Avenue. The current Preliminary PUD, approved on November 13, 2012, included a restaurant site of substantially the same size at 46,943 square feet with a requirement of a Final PUD upon development.

The applicant has included a minor subdivision with this Final PUD request (PUD2019-0005). The request, if approved, would subdivide Lot 1 of the Suffolk Subdivision 5th Filing into two lots. The proposed restaurant is proposed for Lot 2, while the existing hotel would be placed on the proposed Lot 1. The minor subdivision and improvements conform to density and

dimensional standards set forth in Code. Upon approval of this request, the subsequent plat application would be finalized at the staff level.

B. STAFF RECOMMENDATION

Approval

C. LOCATION

The subject site is located northeast of the intersection of Centerplace Drive and 46th Avenue.

SITE DATA:

Current Zoning:	PUD (Planned Unit Development)		
Abutting Zoning:	North	-	PUD & R-H (Residential High Density)
	South	-	PUD
	East	-	C-L (Commercial Low Intensity) & C-H (Commercial High Intensity)/ PUD
	West	-	PUD
Abutting Land Uses:	North	-	Hotel (Homewood Suites)
	South	-	Restaurant Uses (Panera Bread and Chick-fil-a)
	East	-	Undeveloped
	West	-	Retail Uses (Lowe's, Firestone Tire, Goodwill) and Undeveloped
Lot Size:	1.08 acres		
Proposed Lot Coverage:	Building Area	-	4,700 Square Feet 10%
	Patio Area	-	1,480 Square Feet 3%
	Parking/Paved Area	-	21,843 Square Feet 46%
	Sidewalk	-	3,149 Square Feet 7%
	<u>Landscaping</u>	-	<u>15,762 Square Feet 34%</u>
	Total	-	46,934 Square Feet 100%
Building Height:	25' 10"		
Proposed Uses:	Restaurant		

D. BACKGROUND:

The Suffolk Preliminary PUD (Planned Unit Development) was approved by City Council on January 6, 2004 (PUD 10:03). The allowed uses identified in the Preliminary PUD are as follows: Lot 1 –

Lowe's Home Improvement store, Lot 2 – C-H (Commercial High Intensity) Uses, Lot 3 – R-M (Residential Medium Density) Uses, Lot 4 – R-H (Residential High Density) Uses, Outlot A – Open Space, and Outlot B – Stormwater Detention.

On April 13, 2004, the Planning Commission approved the Suffolk Final PUD (PUD 2:04), which provided final details for the Lowe's Home Improvement store on Lot 1 and a final plat recorded in conjunction with the Final PUD. Because site development details were not provided for Lots 2, 3, and 4, Preliminary and Final PUD's are required for those properties before they can be developed.

In 2012 a Preliminary/Final PUD (Lot 4, Suffolk 3rd Filing) was approved by City Council to allow for hotel, health club, conference center, and restaurant uses on Lot 4, and eliminated the multi-family uses previously permitted under the original PUD. The Preliminary PUD designated 46,943 square feet of land area for a future restaurant adjacent to the hotel development. The approval of the Preliminary/Final PUD required a Final PUD application for the development of the restaurant use. In addition, a minor subdivision was approved (Lot 1 of the Suffolk Subdivision 5th Filing) to subdivide Lot 4 into one lot (Lot 1) and one tract (Tract A) for future development.

This Final PUD proposes a 4,700 square-foot restaurant as shown on the 2012 Preliminary PUD. As shown in Attachment E, the proposed restaurant is in substantial conformance to the original site layout with minor changes to building and parking orientation. The proposed building design meets the City's architectural design standards and is consistent with surrounding commercial and residential development in this area. A minor subdivision is also proposed to further subdivide Lot 1 into two lots. The hotel would be placed on Lot 1 and the restaurant is proposed for Lot 2. The subdivision portion of this request is administrative, pending approval of the Final PUD plan.

E. APPROVAL CRITERIA

The review criteria found in Chapter 18.32 of the Greeley Development Code shall be used when considering a Final PUD approval request.

1. Is the Final PUD Plan substantially in compliance with the approved Preliminary PUD Plan?

Staff Comment: The Final PUD plan is in accordance with the Preliminary PUD, as amended, and the applicable Development Code sections as noted below:

Building Elevations - The proposed elevations for the restaurant is compatible with the overall appearance of the adjacent hotel building and surrounding properties within the PUD. *See Attachment D for proposed elevations.*

Building Material - The applicant proposes coordinating with the adjacent hotel building's color themes on the new restaurant. The building materials include brick and stone veneer, light beige stucco, beige board and batten, dark brown cementitious siding, and a standing seam metal roof. *See Attachment D for proposed materials.*

Landscaping – The minimum open space requirement is 20%, or alternative compliance. Per this application, 34% of the site is to be landscaped. Included are 19 trees, 132 shrubs, and 164 perennials and ornamental grasses. Existing landscape is also located within the parking area and along 46th Avenue.

Signage – Wall and freestanding signs are required to comply with the requirements as found in Chapter 18.54 of the Development Code. Sign locations are shown on the plans for illustrative purposes only and the applicant must apply for a sign permit prior to installation.

Photometric – A photometric plan was reviewed with this application. It proposes 20' freestanding downcast LED light poles and shielded LED wall sconces. These fixtures are complimentary to those used at the neighboring hotel site and comply with the Development Code.

Parking and Circulation – The applicant has proposed 59 spaces which exceed that required by Code. Shared parking between the hotel and restaurant was approved with the Preliminary PUD with a future parking area to be developed at the time of restaurant development. This application has included the future parking area in the development plan.

F. ADMINISTRATIVE REVIEW TEAM COMMENTS:

The Administrative Review Team reviewed this proposal, and there are no outstanding comments pertaining to this Final PUD request.

G. PHYSICAL SITE CHARACTERISTICS

1. SUBDIVISION HISTORY

The property is part of Lot 1 of the Suffolk Subdivision 5th Filing, which was approved in 2012 for the development of the Homewood Suites hotel. This application includes a minor subdivision to subdivide Lot 1 into two lots to accommodate the proposed restaurant development.

2. HAZARDS

There are no known hazards associated with this proposal.

3. WILDLIFE

The site is not located in an area identified for wildlife impacts.

4. FLOODPLAIN

The property does not lie within any flood zones.

5. DRAINAGE AND EROSION

There are no concerns with drainage and/or erosion on the subject site.

6. TRANSPORTATION

The site would be accessed from 46th Avenue via an existing driveway leading to the Homewood Suites hotel. The proposed restaurant was included as a use during the Preliminary PUD review and site design. Additionally, a sidewalk will be installed to connect with the existing sidewalk along 46th Avenue.

7. SERVICES

City utility services currently serve the property and no significant impacts are anticipated from this proposal.

H. NEIGHBORHOOD NOTIFICATION:

Notification letters regarding the proposed PUD amendment request were mailed to property owners within 500 feet of the site on August 26, 2019, pursuant to Development Code requirements. A sign was also posted on the site on August 26, 2019. No comments have been received to date.

I. PLANNING COMMISSION RECOMMENDED MOTION:

Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Final PUD is in compliance with the Development Code and consistent with the Preliminary PUD for Lot 4, Suffolk PUD 3rd Filing, and therefore approves the Final PUD as presented.

J. ATTACHMENTS:

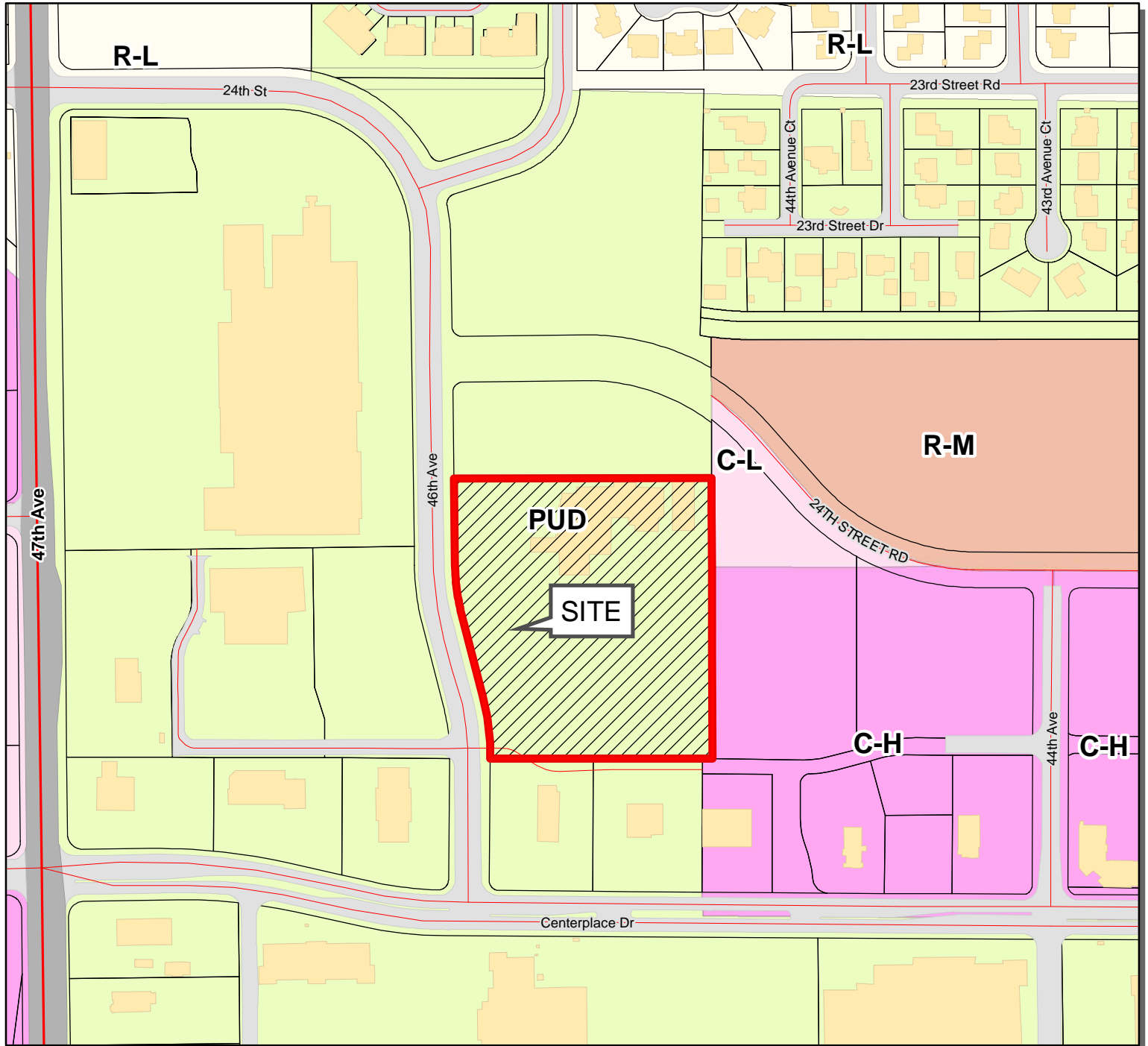
- Attachment A - Vicinity & Zoning Map
- Attachment B - Project Narrative
- Attachment C - Site Plan
- Attachment D - Building Elevations & Materials
- Attachment E - Site Comparison
- Attachment F - Minor Subdivision

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Zoning/Vicinity Map

Greeley Sports Bar Final PUD



Legend

- Subject Site
- StreetCenterlines**
- CLASSIFICATION**
- Expressway
- Arterials
- Local, Collectors
- Unknown
- City Limits
- Building
- Weld Parcels

PUD2019-0005

0 290 580 Feet



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NARRATIVE

The owners of Kenny's Steak house located on West 10th Street are proposing to build and operate a new restaurant/sports bar in the Centerplace Development in West Greeley. The owners are subdividing 1.08 Acres from the 6.12-acre Zoned PUD which is part of the Homewood Suites Development in the Suffolks PUD. The subdivision is part of this application. The 1.08 acres includes 40 parking spaces with curb and gutter, existing lighting and landscaping. The owner intends to utilize the existing parking lot and provide 19 additional parking spaces. The restaurant will be newly constructed 26.5' single story building covering 4,700 square feet of area and will exceed the setback requirements required by the city.

The restaurant will provide 167 seats for customers. The city code requires that restaurants provide 1 parking space for every 4 customer seats. The total requirement for this restaurant will be 41.75 spaces and 59 spaces will be provided.

The access to the restaurant will be a shared access with the existing Homewood Suites Hotel. A traffic study for the full development has been provided. Lighting for the existing parking lot has been provided with the original development and 2 additional light poles will be added to the additional parking lot. A photometric plan has been included with this submittal.

The Architecture for the building meets or exceeds the city standards with multiple articulation and a variety of materials. The landscaping also exceeds the standards with a large variety of plant material exceeding the required 75% of living material which covers 34% of the lot and includes seat walls and retaining walls. The tree lawn was provided with the construction of the Homewood Suites along with the landscaping in the existing parking lot islands and along the south edge for screening.

The overall concept will emphasize the following elements:

1. Building form and character shall be of an appropriate scale. Design considerations shall include the mass, bulk and proportion of the structure including roofs, walls and openings.
2. Building colors for primary and accessory structures shall be low-reflective, subtle, neutral or earth tone colors with the intent of promoting a harmonious appearance of the structure.
3. All elevations of structures will be detailed to provide visual interest and avoid unattractive views.
4. Roofing materials, windows, building materials and finish will be coordinated to achieve a cohesive appearance.
5. All heating air-conditioning, refrigeration, ventilation or other mechanical equipment located on the exterior of any building or structure shall be screened from view of abutting Public Street and residential properties.
6. Site Lighting shall be in accordance with the City's performance standards.

An overall system of pedestrian ways has been provided throughout the site to assure safe passage within. Attached sidewalks are provided on all local streets. All required street-side sidewalks have been located wholly within the right-of-way.

Public Facilities Providers:

a. Police

The City of Greeley Police Department will provide the law enforcement services within the development.

b. Fire Protection

The design of structures will comply with local building codes regarding fire protection. The development will be serviced by the City of Greeley Fire departments with service areas as determined to be appropriate..

c. Parks and Open Space

The Developer shall be responsible for walkway and landscape improvements within the Private Drive right-of-way.

Land-Use Statistic

EXISTING ZONE	PUD PLANNED UNIT DEVELOPMENT
PROPOSED ZONE	PUD PLANNED UNIT DEVELOPMENT
GROSS LAND AREA	46,934 SF 1.08 AC
NUMBER OF BUILDINGS	1 BUILDING

LAND USE:	RESTAURANT
MAX BUILDING HEIGHT	26.5'
MAX BUILDING STORIES	1 STORY

Gross Area Coverage

	SQUARE FEET	ACRES	% OF
BUILDING FOOTPRINT	4,700	0.12	10%
PATIO AREA	1480	0.03	03%
LANDSCAPE AREA	15,762	0.36	34%
PAVED	21,843	0.50	46%
SIDEWALK	3,149	0.07	07%
TOTAL AREA	46,934	1.08	100%

Parking Summary

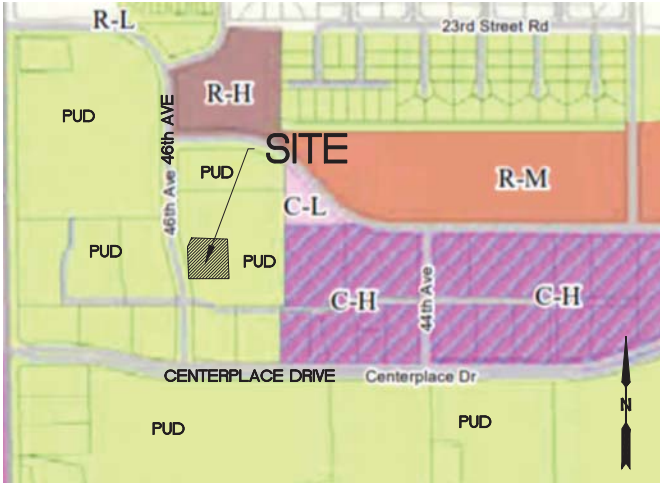
BASED ON MINIMUM REQUIREMENTS

RESTAURANT REQUIRED SPACES	1 SPACE PER 4 SEATS
NUMBER OF SEATS	167 SEATS
NUMBER OF SPACE REQUIRED 167/ 4	41.75 SPACES
NUMBER OF SPACES PROVIDED	59 SPACES
NUMBER OF HANDICAP SPACES REQUIRED	2 SPACES
NUMBER OF BICYCLE SPACES REQUIRED 41.75*5%	3 SPACES

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- STREET GENERAL NOTES
1. All work within the public right-of-way, or easement shall conform to the City of Greeley Construction Specifications and Design Standards.
 2. The Contractor is responsible for obtaining all required permits prior to commencement of any work on the project. A permit from Public Works Department (970-350-9881) is required for all construction in public right-of-way or easements. A pre-construction conference shall be held with City representatives before a permit will be issued. Call Utility Notification Center of Colorado at 1-800-922-1987 for utility locates at least 48 hours prior to any excavation work.
 3. The Contractor shall notify Construction Services (970-350-9539) at least 24 hour prior to required inspection.
 4. It is the Contractor's responsibility to notify the Owner / Developer, and the City, of any problems in conforming to the accepted plans for any element of the proposed improvements prior to its construction.
 5. It is the responsibility of the Developer during construction activities to resolve construction problems due to changed conditions, or design errors encountered by the Contractor during the progress of any portion of the project. If, in the opinion of the City, the modifications proposed by the Developer, to the accepted plans, involve significant changes to the character of the work, or to the future contiguous public or private improvements, the Developer shall be responsible for re-submitting the revised plans to the City of Greeley for acceptance prior to any further construction related to that portion of the project. Any improvements not constructed in accordance with the accepted plans, or the accepted revised plans, shall be removed and reconstructed according to the approved plan.
 6. The Contractor shall be solely and completely responsible for the conditions at and adjacent to the job site, including safety of all persons and property, during the performance of the work. This requirement shall apply continuously and shall not be limited to normal working hours. The duty of the City to conduct construction review of the Contractor's performance is not intended to include review of the adequacy of the Contractor's safety measures in, on, or near the construction site.
 7. The Contractor shall provide all lights, signs, barricades, flag persons, or other devices necessary to provide for public safety in accordance with the current Manual on Uniform Traffic Control Devices, and the Greeley Supplement to the Manual on Uniform Traffic Control Devices.
 8. The Contractor is responsible for the protection of all survey monuments. Any monument that must be destroyed for construction shall be replaced. The Contractor shall engage the services of a Professional Licensed Surveyor (PLS) prior to disturbing any monuments.
 9. Prior to final placement of surface pavement, all underground utility mains shall be installed and service connections stubbed out beyond curb line, when allowed by the utility. Service from public utilities and from sanitary sewers shall be made available for each lot in such a manner that will not be necessary to disturb the street pavement, curb, gutter, and sidewalk when connections are made.
 10. The contractor shall restrict working hours to between 7:00 am and 6:00 pm on normal City of Greeley business days unless prior approval has been obtained from the City.
 11. The contractor shall be required to sweep or vacuum any sediment that is tracked onto City streets on a daily basis.
 12. All access gates will need to be equipped with either a Knox Key switch system or Knox Padlock for emergency services access.
- UTILITY NOTES:
1. All construction work to be accepted by the City shall conform to the City of Greeley Construction Specifications and Design Standards.
 2. All over lot grading in the right-of-way or easement shall be completed prior to installing potable water, sanitary sewer, or non-potable irrigation lines.
 3. Contractor shall verify all utility locations prior to construction. Call Utility Notification Center of Colorado at 1-800-922-1987 or dial 811 for utility locates 48 hours prior to any excavation work.
 4. Maintain a minimum of ten (10) feet horizontal clear distance separation between potable water mains/services and sanitary sewer or non-potable irrigation mains/services. Potable water mains/services are to be located 18-inches minimum above the sanitary sewer or non-potable irrigation mains/services. If field conditions vary from those shown on these plans and the sanitary sewer or non-potable mains/services cannot be located below the water main or service, a clear vertical distance of eighteen (18) inches below cannot be maintained, or a minimum ten (10) foot horizontal separation cannot be achieved, the City shall be contacted immediately to review the situation.
 5. In all instances where a water line lowering, potable or non-potable, is required due to unforeseen field conditions, a detailed drawing shall be provided to the City for acceptance prior to performing the work.
 6. Where potable water, sanitary sewer, and non-potable irrigation lines are located in common utility easement areas, there shall be no other utilities located horizontally within ten (10) feet of either line except at approved crossings.
 7. Contractor shall notify the City one (1) week prior to commencing work after City accepted Construction Drawings have been distributed and a pre-construction meeting has been held with the City.
 8. Contractor shall pothole all existing utilities to be crossed by potable water, sanitary sewer, or non-potable irrigation lines at least 24 hours prior to crossing to ensure 18" minimum clearance for open cut crossings and 36" minimum clearance for bored crossings. Horizontal and vertical location of crossed existing utilities shall be recorded on the As-Constructed Record Drawings.
 9. Should any variations before or during construction to the potable water distribution, sanitary sewer collection, or non-potable irrigation system designs be considered, notice must first be given to the City to determine if it needs acceptance by the City. If so, a new plan shall be drawn and submitted to the City for acceptance by the Design Engineer 72 hours prior to construction.
 10. Final construction plans are valid for construction one (1) year from the date of City signature acceptance.
 11. All potable water mains, services, and hydrant lines shall have a minimum cover of five (5) feet and a maximum cover of six (6) feet unless otherwise indicated on the accepted Construction Drawings.
 12. All non-potable water mains and services shall have a minimum cover of three and a half (3.5) feet and a maximum cover of six (6) feet unless otherwise indicated on the accepted Construction Drawings.
 13. All new water mains shall be bulkheaded and tested and approved prior to connection to the existing water system. Valves which pass testing for pressure and leakage at the time of installation and the testing was performed in the presence of the City may be considered as a bulkhead.
 14. Verification Survey – Top of pipe elevations at all potable and non-potable water line valves, and sanitary sewer manhole inverts shall be surveyed and provided to the City by the Design Engineer for acceptance prior to paving construction. The verification survey shall also provide sewer pipe slopes and length and proposed finished ground elevations at all valve boxes and manhole rim elevations.
 15. All utility conduit crossings of potable water, sanitary sewer and non-potable irrigation lines shall be encased in High Density Polyethylene (HDPE) pipe, with a minimum Standard Dimension Ratio (SDR) 11 across the entire easement or right-of-way width. The encasement joint shall be butt fused. Flexible joints are not allowed.
 16. Wet taps shall be drilled by the City for a fee. Call 970-350-9810 at least 48 hours in advance to pay fees and schedule tap.
 17. Prior to excavation and construction over and near the existing water and sewer mains, please contact the Water and Sewer Department Right-Of-Way staff at (970) 350-9539, to complete the applicable documentation to work within the right of way and easements.
 18. The following link provides a list of certified testers for backflow assemblies:
<http://greeleygov.com/services/ws/development/cross-connection-and-backflow-prevention>
 19. Backflow Assembly test and maintenance reports can be mailed to the City of Greeley Water and Sewer Department at 1001 11TH AVE, 2ND Floor, Greeley, CO 80631, faxed to 970-350-9805, or emailed to chrissy.tutz@greeleygov.com.

GREELEY SPORTS BAR
Lot 2 Suffolk Minor Subdivision/Final Development Plan
2500 Block of 46th Avenue, Greeley, Colorado
PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 5 NORTH,
RANGE 66 WEST OF THE 6TH P.M.
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO



VICINITY MAP

N.T.S.

BENCHMARK
VERTICAL DATUM NAVD88
CITY OF GREELEY GIS CONTROL POINT #81
ELEVATION = 4886.70

HORIZ CONTROL
CONTROL POINT #1
NW PIN NORTHING 4732.67
EASTING 5015.2

CONTROL POINT #2
SE PIN NORTHING 4591.67
EASTING 4866.46

PAVEMENT RECOMMENDATIONS FROM INBERG-MILLER ENGINEERS PROJ # 10487-HX

TABLE II – PAVEMENT SECTION DESIGN – Cont.				
RECOMMENDED PAVEMENT THICKNESS (inches)				
PAVEMENT SECTION	25 TH ST. ENT. FROM 47 TH AVE. & MAIN ROADS IN RETAIL STORE AREA	25 TH ST. EAST OF 46 TH AVE	46 TH AVE NORTH OF 24 TH STREET	RETAIL STORE PARKING AREAS
ESAL's PER DAY	17	15	5	8
ASPHALT PAVEMENT Plant Mix Asphalt Aggregate Base				5" 8"
RIGID PAVEMENT Portland Cement Concrete				5.5

Construction must be in accordance with applicable City of Greeley Construction Standards. The City's acceptance allows for plan distribution and permit application. The City's acceptance shall not relieve the design engineer's responsibility for errors, omissions, or design deficiencies for which the City is held harmless.

Accepted by: _____ Date _____
Engineering Development Review
and Civil Inspections Manager

Accepted by: _____ Date _____
CITY OF GREELEY FIRE MARSHAL

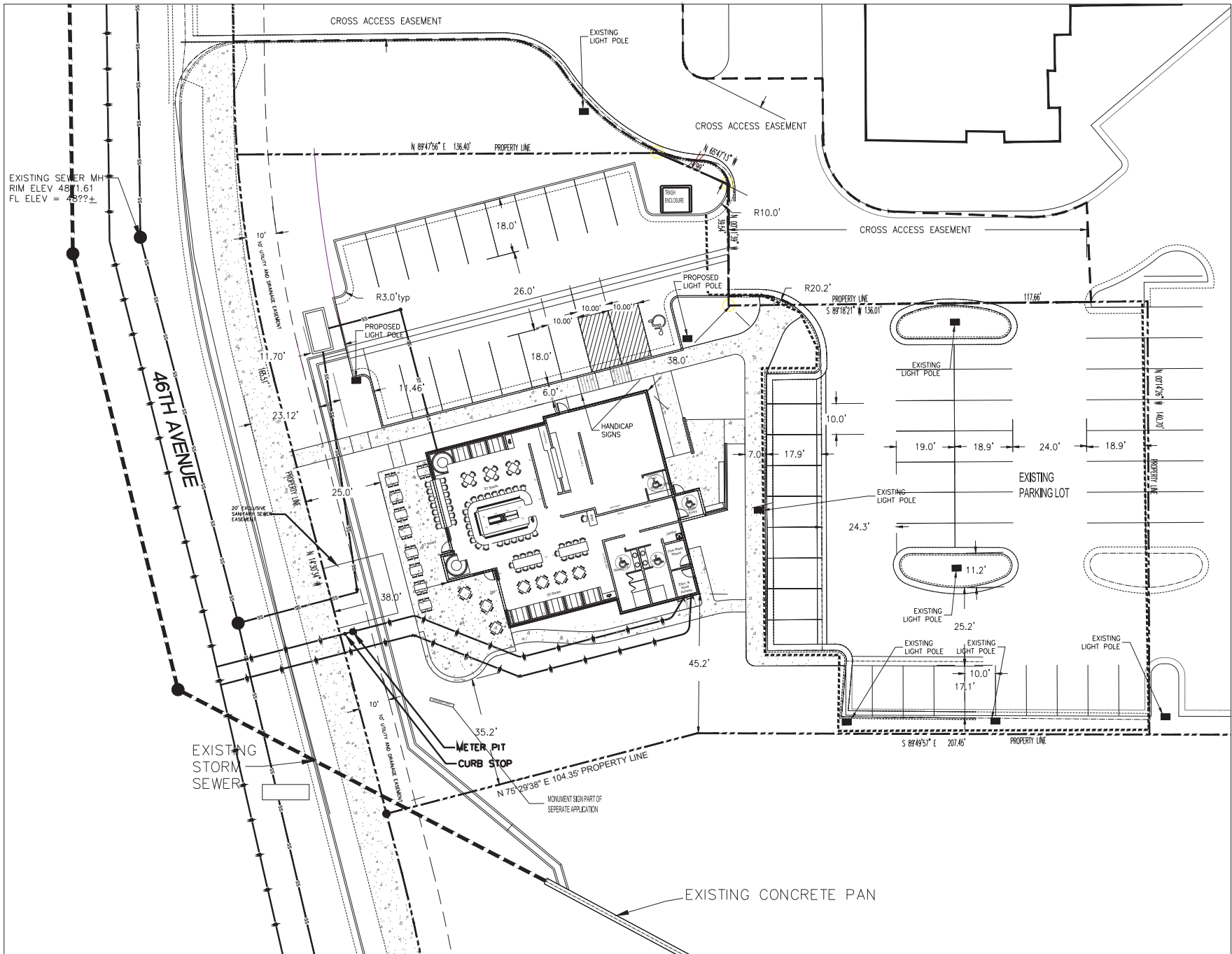
Accepted by: _____ Date _____
Community Development Director

DRAWN FOR:
MATT LARSON
3502 10TH ST
Greeley, CO 80631

GREELEY SPORTS BAR
46TH AVE
GREELEY CO 80634

WERNISMAN ENGINEERING
AND LAND DEVELOPMENT LLC
16493 ESSEX RD S
PLATTEVILLE CO 80651
(970) 539-2656
eric@wernismn.com

DRAWN
EJW
CHECKED
DATE
8/6/2019
SCALE
n.t.s.
PROJECT #
SHEET
C



Land-Use Statistic

EXISTING ZONE	PUD PLANNED UNIT DEVELOPMENT
PROPOSED ZONE	PUD PLANNED UNIT DEVELOPMENT
GROSS LAND AREA	46,934 SF 1.08 AC
NUMBER OF BUILDINGS	1 BUILDING
LAND USE:	RESTAURANT
MAX BUILDING HEIGHT	26.5'
MAX BUILDING STORIES	1 STORY

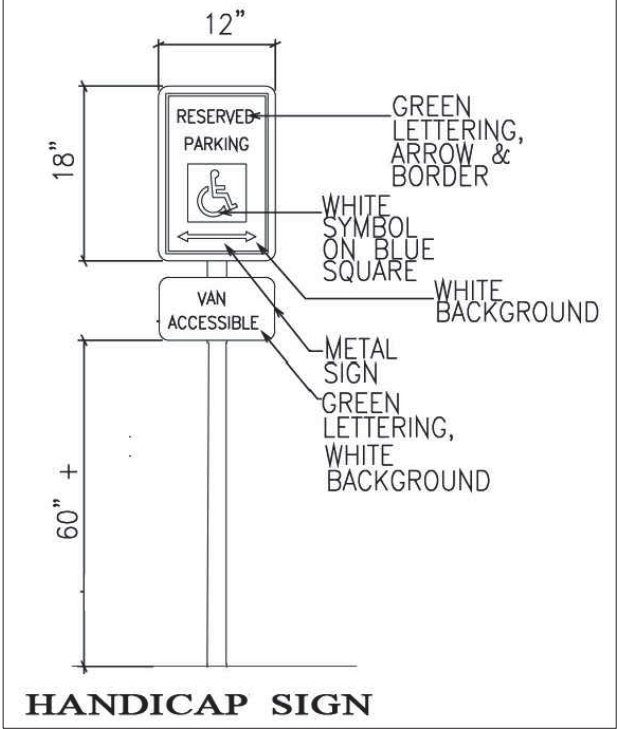
Gross Area Coverage

	SQUARE FEET	ACRES	% OF
BUILDING FOOTPRINT	4,700	0.12	10%
PATIO AREA	1,480	0.03	03%
LANDSCAPE AREA	15,762	0.36	34%
PAVED	21,843	0.50	46%
SIDEWALK	3,149	0.07	07%
TOTAL AREA	46,934	1.08	100%

Parking Summary

BASED ON MINIMUM REQUIREMENTS	
RESTAURANT REQUIRED SPACES	2 SPACE PER 3 EMP.
RESTAURANT REQUIRED SPACES	1 SPACE PER 4 SEATS
NUMBER OF EMPLOYEES	9 EMP = 6 SPACES
NUMBER OF SEATS	167 SEATS
NUMBER OF SPACE REQUIRED 167/4	41.75 SPACES
TOTAL SPACES REQUIRED	48 SPACES
NUMBER OF SPACES PROVIDED	59 SPACES
NUMBER OF HANDICAP SPACES REQUIRED	2 SPACES
NUMBER OF BICYCLE SPACES REQUIRED 41.75*5%	3 SPACES

S1 ADA SIGN DETAIL

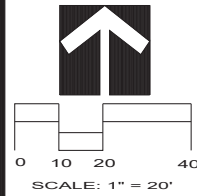


HANDICAP SIGN

..... EXISTING PARKING LOT WITH CURB AND GUTTER

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Accepted by: _____ Date _____
Engineering Development Review
and Civil Inspections Manager



ENGINEER
WERNISMAN ENGINEERING
ERIC WERNISMAN
EVANS COLORADO
(970) 539-2656
LANDSCAPE ARCHITECT
ROB MOLLOY
980 NORWAY MAPLE DRIVE
LOVELAND, CO
970-988-5301
ARCHITECT
14 ARCHITECTS
226 REMINGTON UNIT 3
FORT COLLINS, COLORADO
970-224-0630

GREELEY SPORTS BAR
SUFFOLK PUD LOT 2
FINAL DEVELOPMENT PLAN
2500 Block of 46th Avenue | GREELEY, COLORADO

SITE PLAN

DATE 05/23/2019
JOB NO.
DRAWN RM
CHECKED
REVISED 07/11/2019
08/06/2019

S1

GREELEY SPORTS BAR

Lot 2 Suffolk Minor Subdivision/Final Development Plan

2500 Block of 46th Avenue, Greeley, Colorado

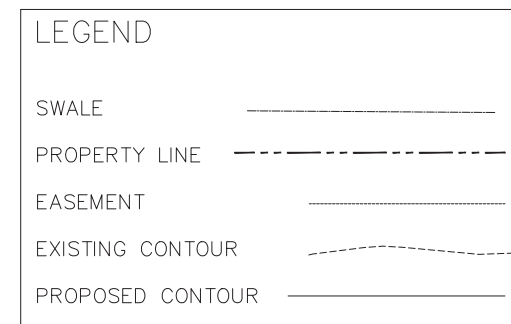
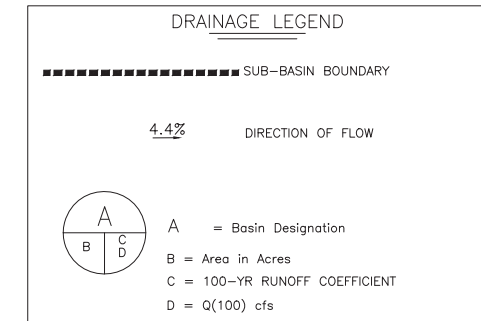
PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 5 NORTH,
RANGE 66 WEST OF THE 6TH P.M.

CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO



BASIN / GRADING PLAN

SCALE 1" = 20'



BASIN	AREA (AC)	C(100)	%IMP	Q(100)CFS
S1	0.28	0.71	77	1.87
S2	0.34	0.33	28	0.88
S3	0.46	0.79	87	3.35

BENCHMARK
VERTICAL DATUM NAVD88
CITY OF GREELEY GIS CONTROL POINT #81
ELEVATION = 4886.70

HORIZ CONTROL
CONTROL POINT #1
NW PIN NORTHING 4732.67
EASTING 5015.2

CONTROL POINT #2
SE PIN NORTHING 4591.67
EASTING 4866.46

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SCALE
1" = 20'

PROJECT #

SHEET

C2

STREET GENERAL NOTES

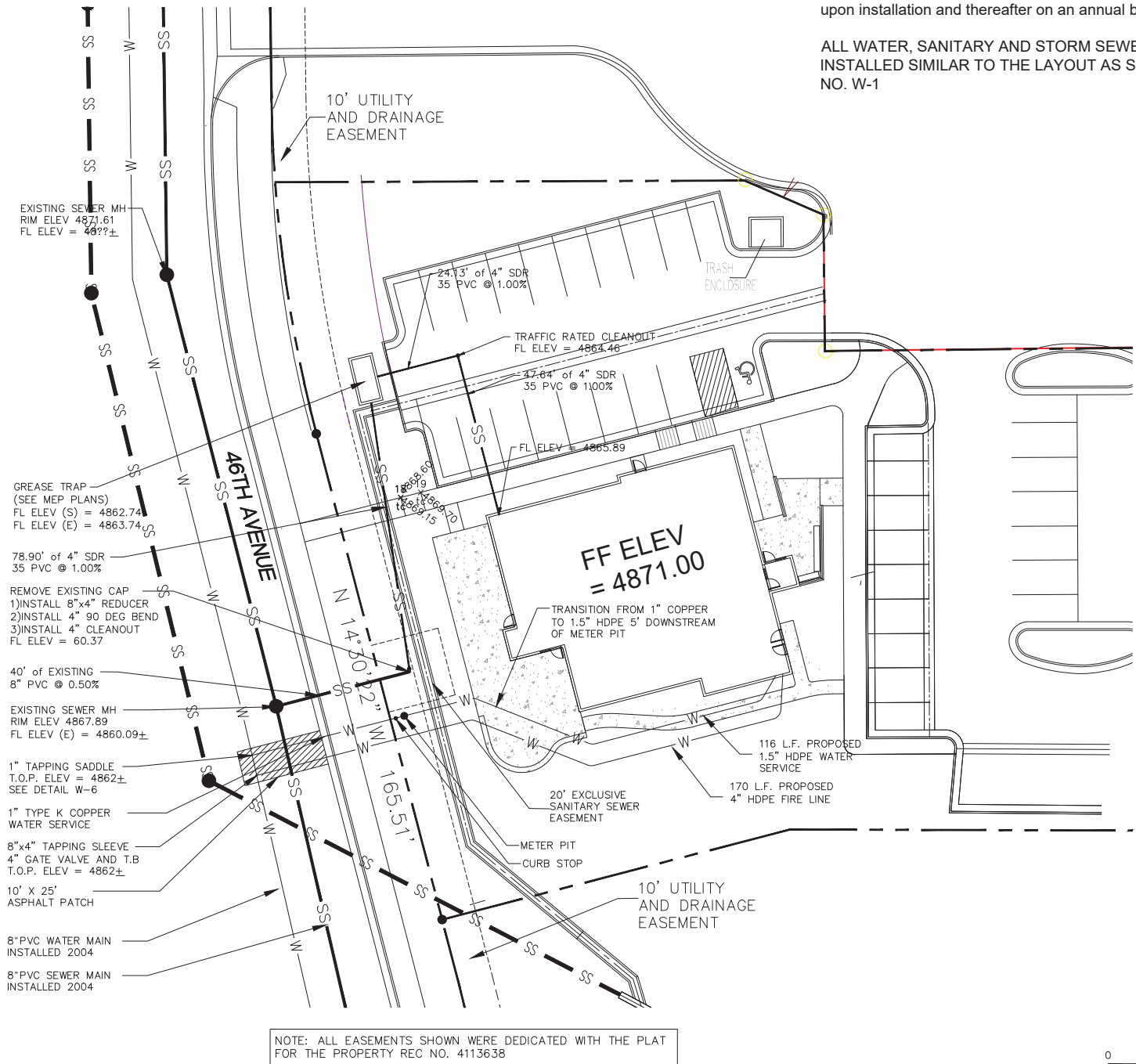
1. All work within the public right-of-way, or easement shall conform to the City of Greeley Construction Specifications and Design Standards.
2. The Contractor is responsible for obtaining all required permits prior to commencement of any work on the project. A permit from Public Works Department (970-350-9881) is required for all construction in public right-of-way or easements. A pre-construction conference shall be held with City representatives before a permit will be issued. Call Utility Notification Center of Colorado at 1-800-922-1987 for utility locates at least 48 hours prior to any excavation work.
3. The Contractor shall notify Construction Services (970-350-9539) at least 24 hour prior to required inspection.
4. It is the Contractor's responsibility to notify the Owner/ Developer, and the City, of any problems in conforming to the accepted plans for any element of the proposed improvements prior to its construction.
5. It is the responsibility of the Developer during construction activities to resolve construction problems due to changed conditions, or design errors encountered by the Contractor during the progress of any portion of the project. If, in the opinion of the City, the modifications proposed by the Developer, to the accepted plans, involve significant changes to the character of the work, or to the future contiguous public or private improvements, the Developer shall be responsible for re-submitting the revised plans to the City of Greeley for acceptance prior to any further construction related to that portion of the project. Any improvements not constructed in accordance with the accepted plans, or the accepted revised plans, shall be removed and reconstructed according to the approved plan.
6. The Contractor shall be solely and completely responsible for the conditions at and adjacent to the job site, including safety of all persons and property, during the performance of the work. This requirement shall apply continuously and shall not be limited to normal working hours. The duty of the City to conduct construction review of the Contractor's performance is not intended to include review of the adequacy of the Contractor's safety measures in, on, or near the construction site.
7. The Contractor shall provide all lights, signs, barricades, flag persons, or other devices necessary to provide for public safety in accordance with the current Manual on Uniform Traffic Control Devices, and the Greeley Supplement to the Manual on Uniform Traffic Control Devices.
8. The Contractor is responsible for the protection of all survey monuments. Any monument that must be destroyed for construction shall be replaced. The Contractor shall engage the services of a Professional Licensed Surveyor (PLS) prior to disturbing any monuments.
9. Prior to final placement of surface pavement, all underground utility mains shall be installed and service connections stubbed out beyond curb line, when allowed by the utility. Service from public utilities and from sanitary sewers shall be made available for each lot in such a manner that will not be necessary to disturb the street pavement, curb, gutter, and sidewalk when connections are made.
10. The contractor shall restrict working hours to between 7:00 am and 6:00 pm on normal City of Greeley business days unless prior approval has been obtained from the City.
11. The contractor shall be required to sweep or vacuum any sediment that is tracked onto City streets on a daily basis.
12. All access gates will need to be equipped with either a Knox Key switch system or Knox Padlock for emergency services access.

UTILITY NOTES:

1. All construction work to be accepted by the City shall conform to the City of Greeley Construction Specifications and Design Standards.
2. All over lot grading in the right-of-way or easement shall be completed prior to installing potable water, sanitary sewer, or non-potable irrigation lines.
3. Contractor shall verify all utility locations prior to construction. Call Utility Notification Center of Colorado at 1-800-922-1987 or dial 811 for utility locates 48 hours prior to any excavation work.
4. Maintain a minimum of ten (10) feet horizontal clear distance separation between potable water mains/services and sanitary sewer or non-potable irrigation mains/services. Potable water mains/services are to be located 18-inches minimum above the sanitary sewer or non-potable irrigation mains/services. If field conditions vary from those shown on these plans and the sanitary sewer or non-potable mains/services cannot be located below the water main or service, a clear vertical distance of eighteen (18) inches below cannot be maintained, or a minimum ten (10) foot horizontal separation cannot be achieved, the City shall be contacted immediately to review the situation.
5. In all instances where a water line lowering, potable or non-potable, is required due to unforeseen field conditions, a detailed drawing shall be provided to the City for acceptance prior to performing the work.
6. Where potable water, sanitary sewer, and non-potable irrigation lines are located in common utility easement areas, there shall be no other utilities located horizontally within ten (10) feet of either line except at approved crossings.
7. Contractor shall notify the City one (1) week prior to commencing work after City accepted Construction Drawings have been distributed and a pre-construction meeting has been held with the City.
8. Contractor shall pothole all existing utilities to be crossed by potable water, sanitary sewer, or non-potable irrigation lines at least 24 hours prior to crossing to ensure 18" minimum clearance for open cut crossings and 36" minimum clearance for bored crossings. Horizontal and vertical location of crossed existing utilities shall be recorded on the As-Constructed Record Drawings.
9. Should any variations before or during construction to the potable water distribution, sanitary sewer collection, or non-potable irrigation system designs be considered, notice must first be given to the City to determine if it needs acceptance by the City. If so, a new plan shall be drawn and submitted to the City for acceptance by the Design Engineer 72 hours prior to construction.
10. Final construction plans are valid for construction one (1) year from the date of City signature acceptance.
11. All potable water mains, services, and hydrant lines shall have a minimum cover of five (5) feet and a maximum cover of six (6) feet unless otherwise indicated on the accepted Construction Drawings.
12. All non-potable water mains and services shall have a minimum cover of three and a half (3.5) feet and a maximum cover of six (6) feet unless otherwise indicated on the accepted Construction Drawings.
13. All new water mains shall be bulkheaded and tested and approved prior to connection to the existing water system. Valves which pass testing for pressure and leakage at the time of installation and the testing was performed in the presence of the City may be considered as a bulkhead.
14. Verification Survey - Top of pipe elevations at all potable and non-potable water line valves, and sanitary sewer manhole inverts shall be surveyed and provided to the City by the Design Engineer for acceptance prior to paving construction. The verification survey shall also provide sewer pipe slopes and length and proposed finished ground elevations at all valve boxes and manhole rim elevations.
15. All utility conduit crossings of potable water, sanitary sewer and non-potable irrigation lines shall be encased in High Density Polyethylene (HDPE) pipe, with a minimum Standard Dimension Ratio (SDR) 11 across the entire easement or right-of-way width. The encasement joint shall be butt fused. Flexible joints are not allowed.
16. Wet taps shall be drilled by the City for a fee. Call 970-350-9810 at least 48 hours in advance to pay fees and schedule tap.
17. Prior to excavation and construction over and near the existing water and sewer mains, please contact the Water and Sewer Department Right-Of-Way staff at (970) 350-9539, to complete the applicable documentation to work within the right of way and easements.
18. The following link provides a list of certified testers for backflow assemblies:
<http://greeleygov.com/services/ws/development/cross-connection-and-backflow-prevention>
19. Backflow Assembly test and maintenance reports can be mailed to the City of Greeley Water and Sewer Department at 1001 11TH AVE, 2ND Floor, Greeley, CO 80631, faxed to 970-350-9805, or emailed to chrissy.lutz@greeleygov.com.

UTILITY NOTES cont:

17. Prior to excavation and construction over and near the existing water and sewer mains, please contact Water and Sewer Department Right-Of-Way staff at (970) 350-9539, to complete the applicable documentation to work within the right of way and easements.
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UTILITY PLAN

SCALE 1" = 20'

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Accepted by: _____
Engineering Development Review and Civil Inspections Manager Date _____

DRAWN FOR:
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3502 10TH ST
Greeley, CO 80631

GREELEY SPORTS BAR
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PLATTEVILLE CO 80651
(970) 539-2656
erick@wernisman-engineer.com

DRAWN
EJW
CHECKED

DATE
8/6/2019

SCALE
1" = 30'

PROJECT #

SHEET

C4

STORMWATER ADMINISTRATOR

____xxx____ 970-xxx-xxxx
PHONE #

KEY	TITLE	SYMBOL/ LINEWORK
(SF)	SILT FENCE	— — — — —
(ED)	EXTENT OF DISTURBANCE	—————
(VT)	VEHICLE TRACKING PAD	▨
(CW)	CONCRETE WASHOUT AREA	▣
(RS)	ROCK SOCK	⌒

Maintenance / Inspection Notes:

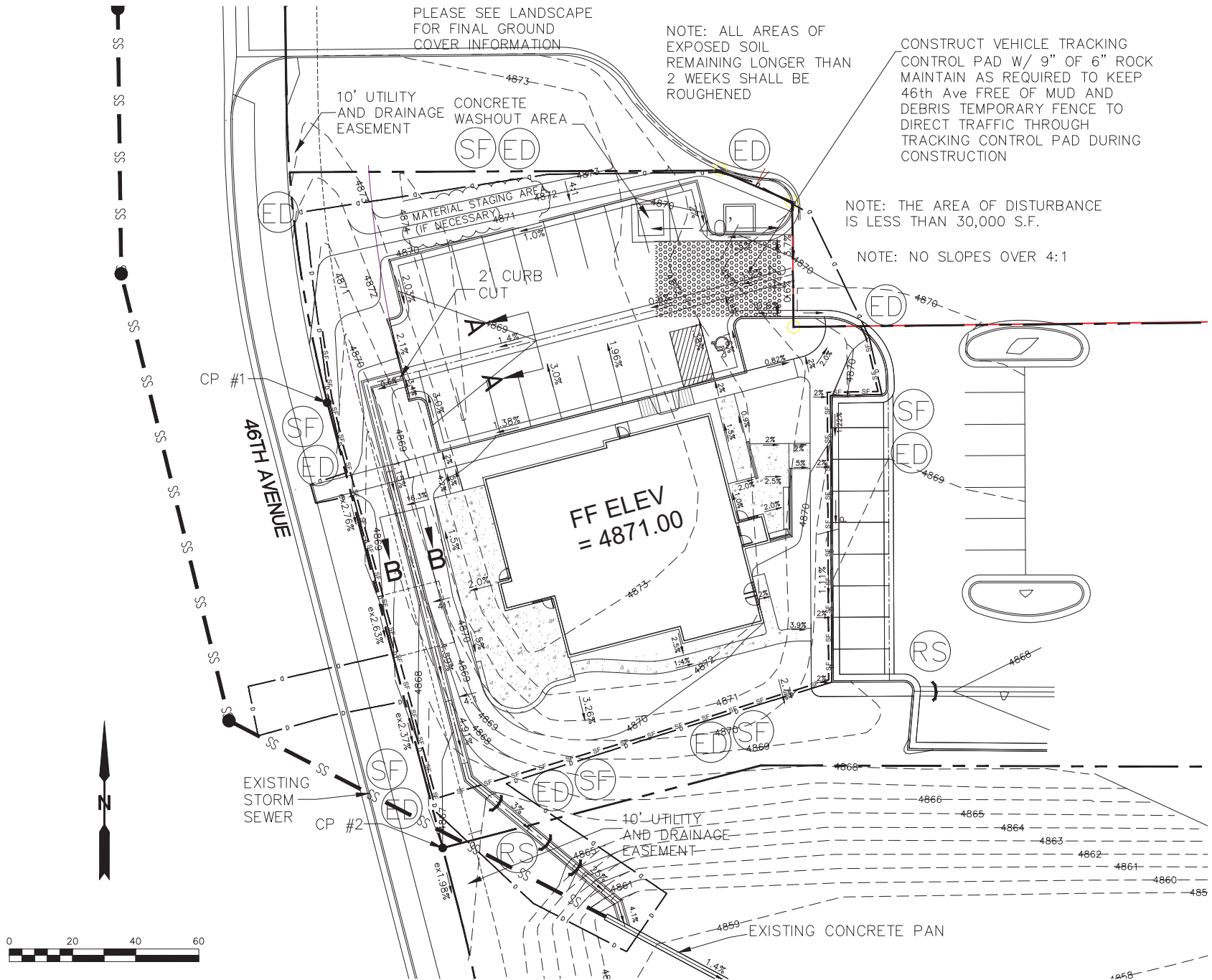
1. Routine preventative maintenance and inspections will be performed bi-weekly as well as after any precipitation or snowmelt event. At the time of inspection, the erosion control measures and all construction equipment located on-site will be inspected for leaks, spills, or damage and the site will be reviewed for unexpected soil erosion or sedimentation runoff.
2. All necessary maintenance and repair activities will be completed immediately after discovering a deficiency in the system. Accumulated sediment and debris will be removed weekly from the erosion control systems, or at any time sediment or debris adversely impacts the functionality of the system.
3. Storm drain inlet protection, straw wattles, and silt fence must be inspected as part of the regular inspections and repaired when necessary. Accumulated sediment shall be removed and properly disposed of.
4. The vehicle tracking control pad shall be maintained daily. Stone shall be added and repairs performed when required. contractor will be required to sweep or vacuum any visible sediment that is tracked onto City streets.
5. Contractor will be required to sweep or vacuum any visible sediment that is tracked onto City streets.
6. Inspection of all erosion and sediment control BMP's shall be required at the end of each day's work, with necessary maintenance and repairs provided immediately.
7. Storm drain inlets shall be protected from the entry of sediment-laden water until final stabilization is complete.

This Erosion & Sediment Control Plan has been submitted to the City of Greeley in fulfillment of the City Criteria. Additional erosion and sediment control measures may be needed if unforeseen problems occur or if the submitted plan does not function as intended. The requirements of this plan shall run with the land and be the obligation of the landowner until such time as the plan is properly completed, modified, or voided.
Note: This Erosion & Sediment Control Plan in and of itself does not fulfill the requirements of the Colorado Department of Public Health: Stormwater Construction Permit for a Stormwater Management Plan (SWMP).

Accepted By: _____
Landowner Date

Accepted By: _____
Professional Engineer Date

NOTE: EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS ACHIEVED FINAL STABILIZATION



EROSION CONTROL PLAN

SCALE 1" = 20'

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Accepted by: _____
Engineering Development Review and Civil Inspections Manager Date

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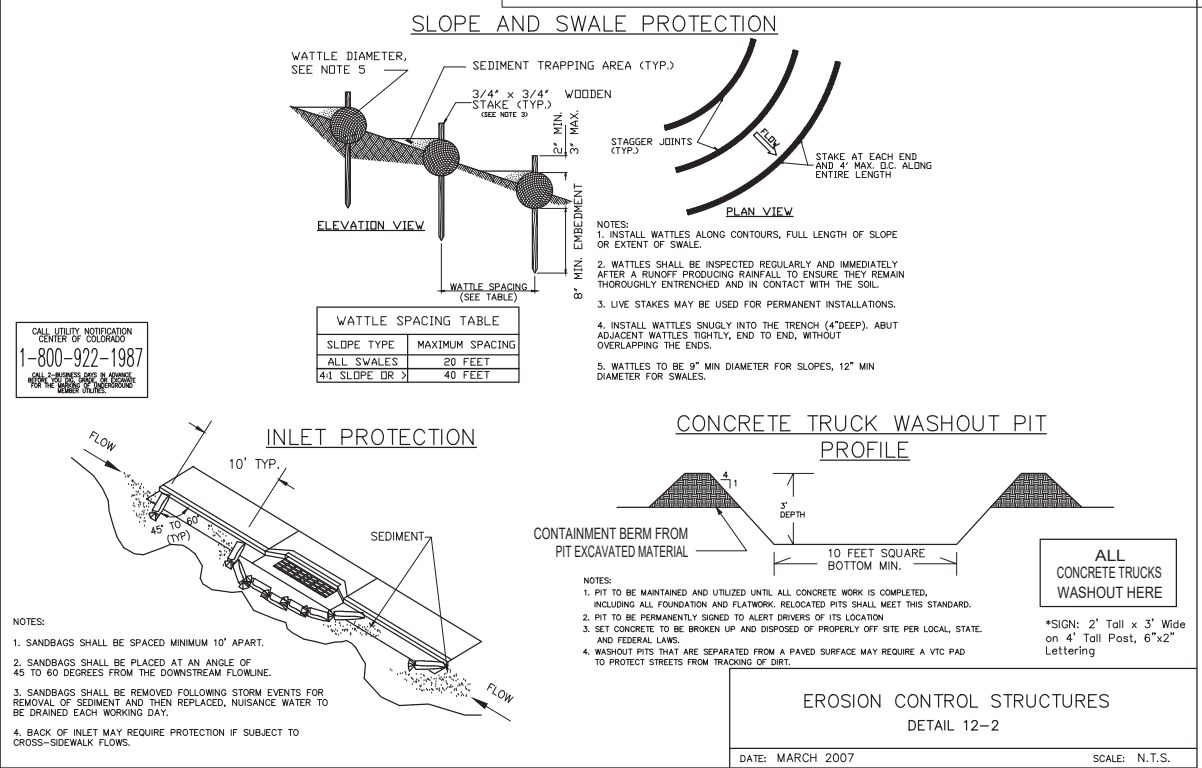
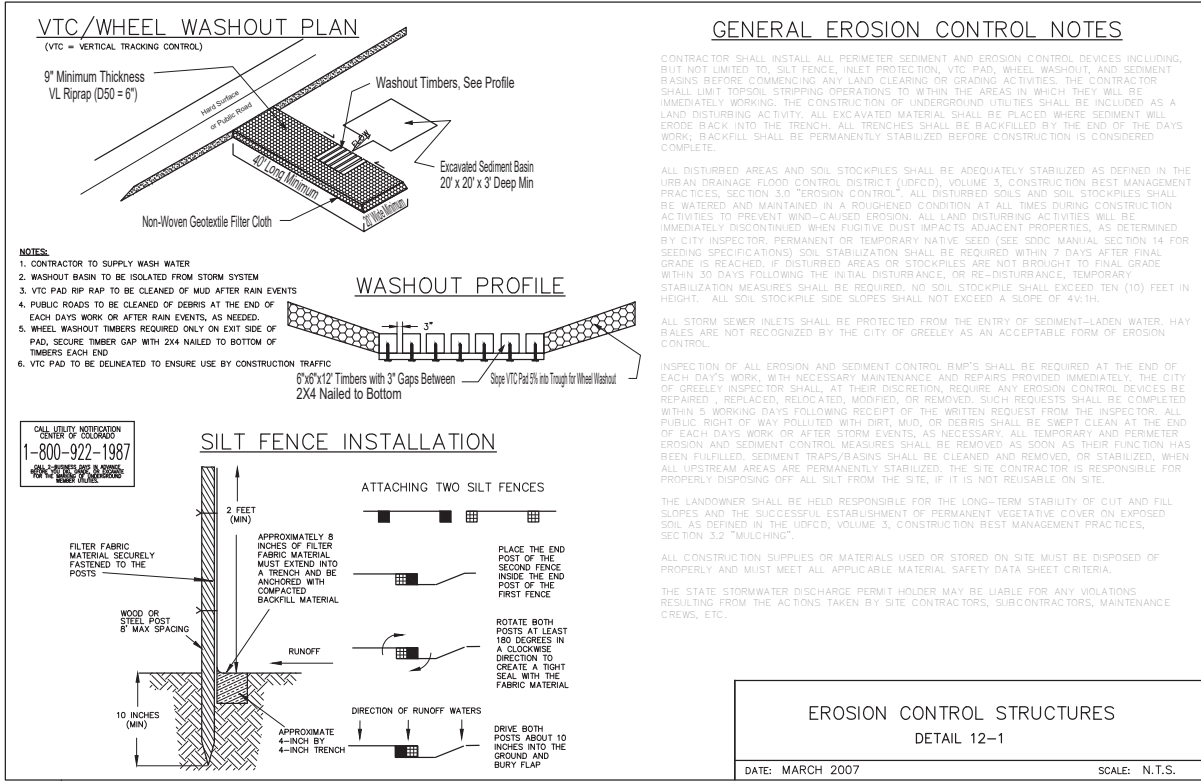
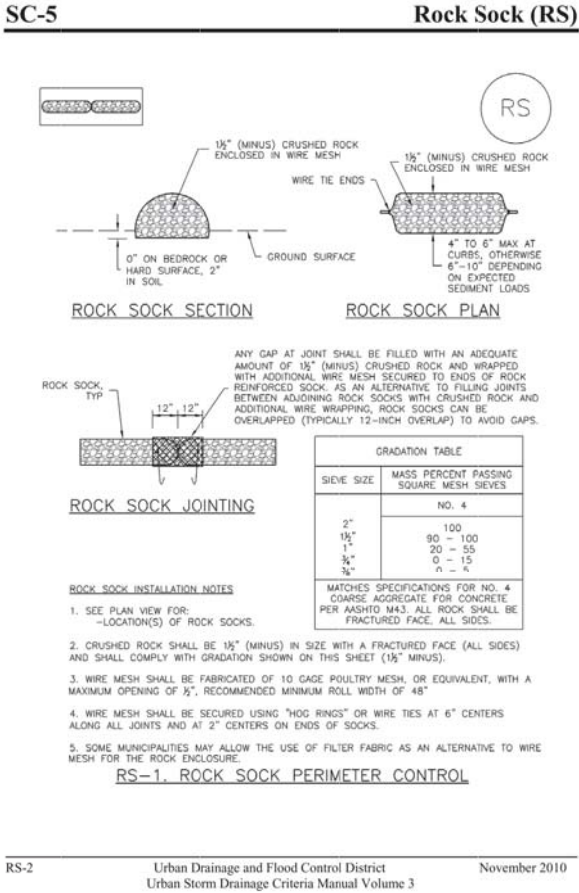
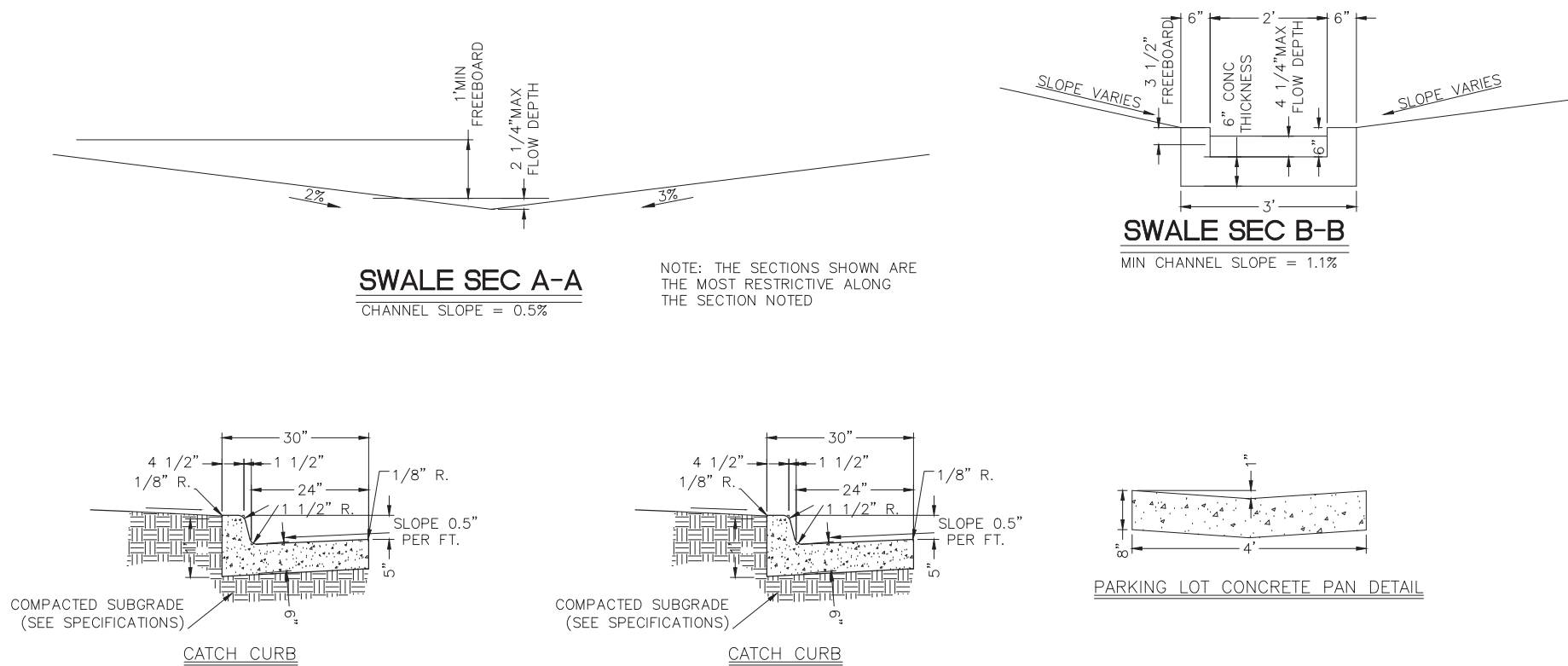
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16493 ESSEX RD S
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(970) 539-2656
ericwickham@wernisman.com

DRAWN
EJW
CHECKED

DATE:
8/6/2019
SCALE:
1"=20'
PROJECT #

SHEET

C5



Construction must be in accordance with applicable City of Greeley Construction Standards. The City's acceptance allows for plan distribution and permit application. The City's acceptance shall not relieve the design engineer's responsibility for errors, omissions, or design deficiencies for which the City is held harmless.

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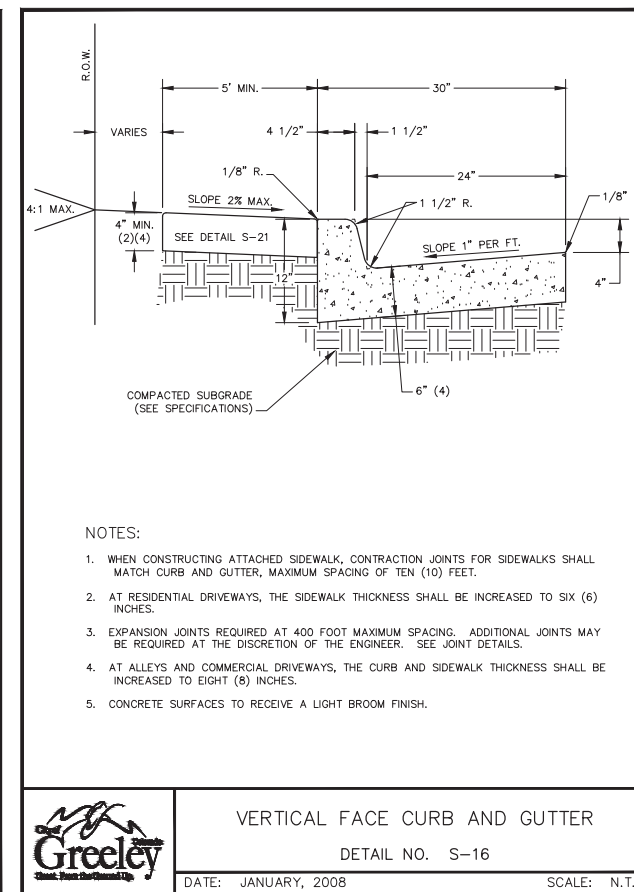
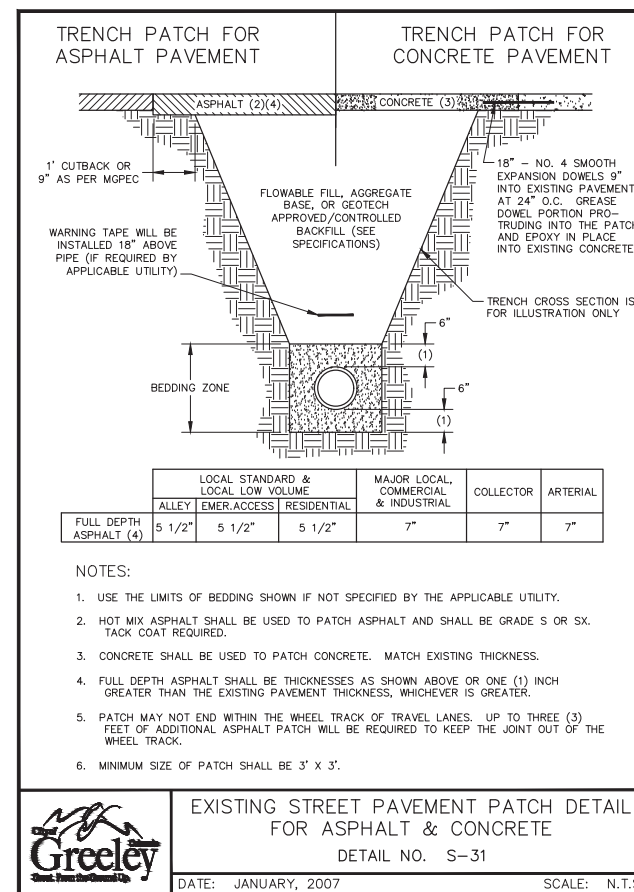
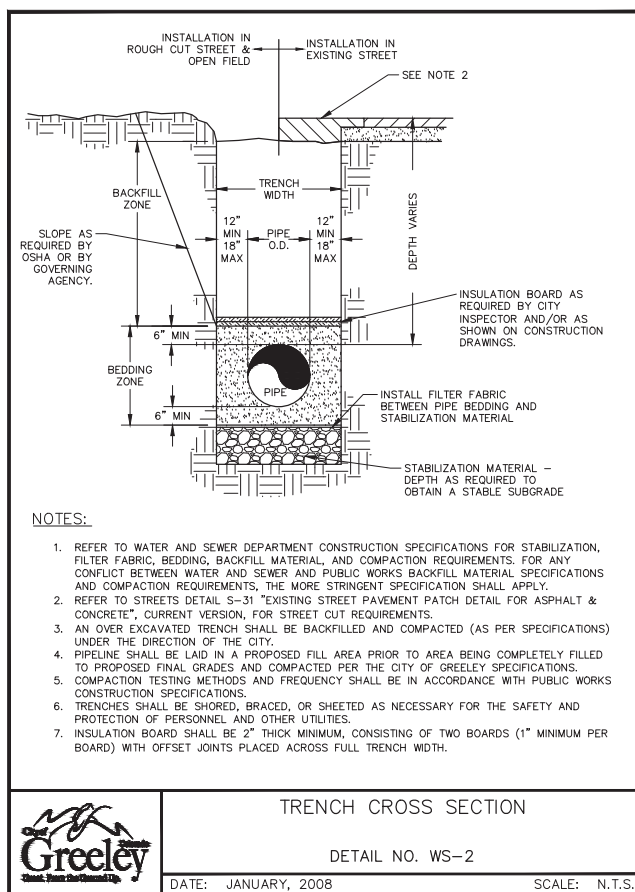
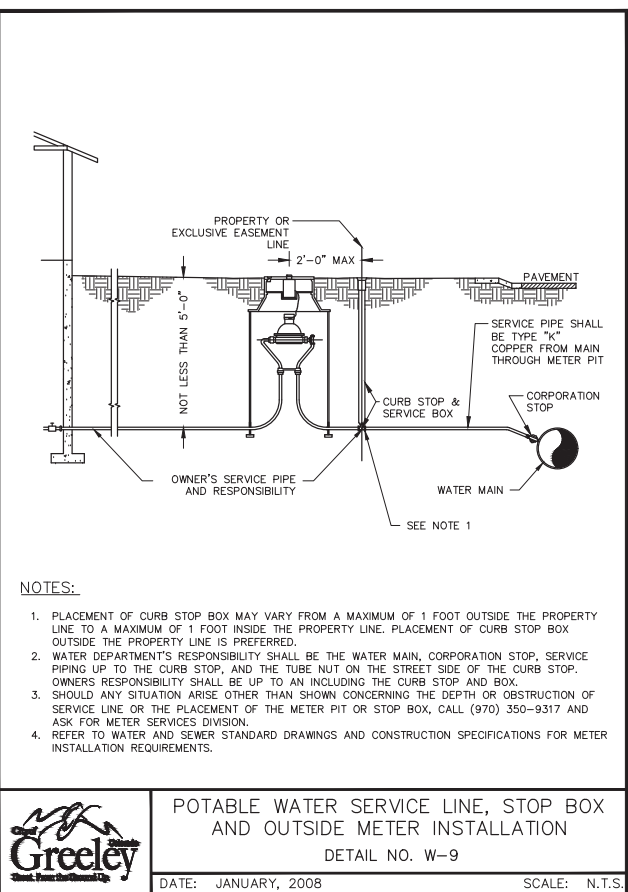
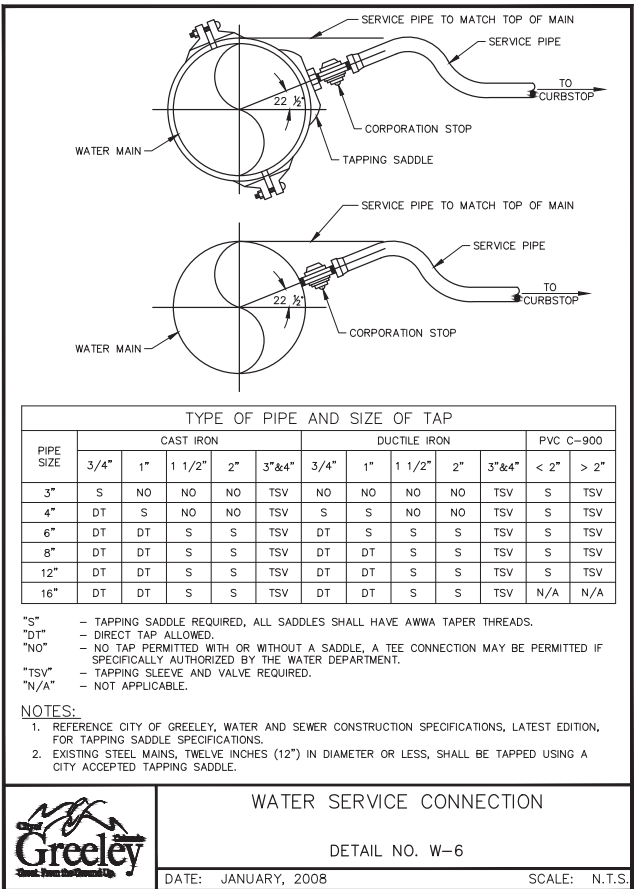
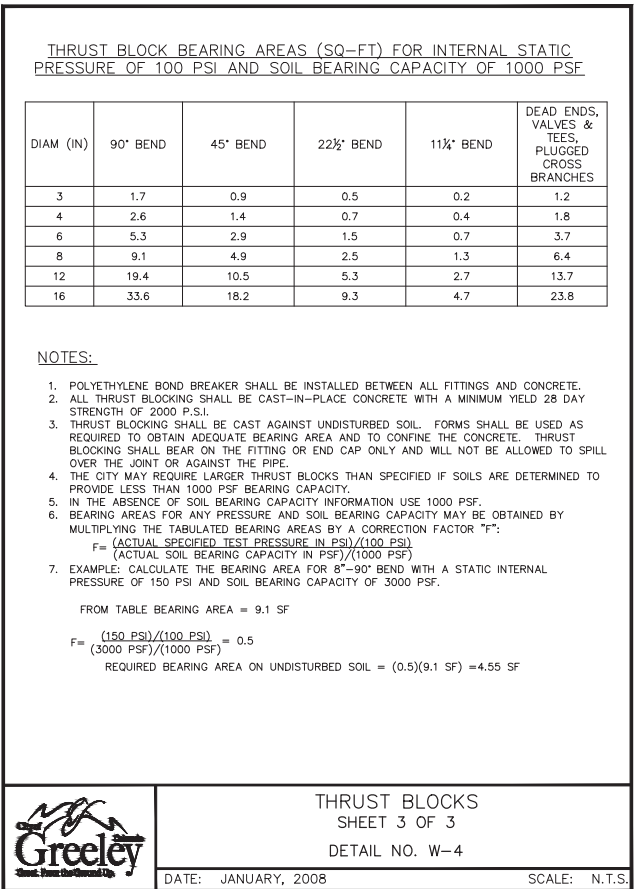
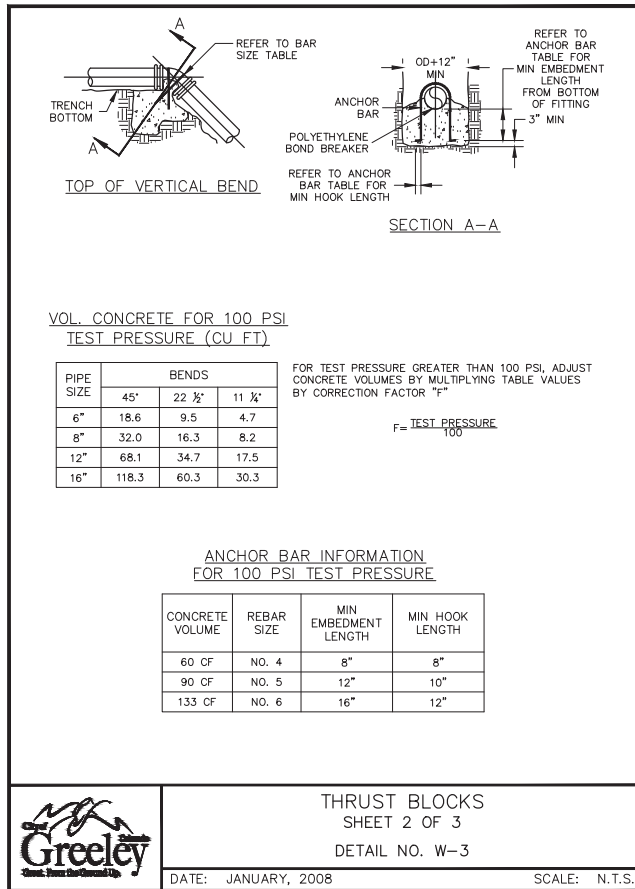
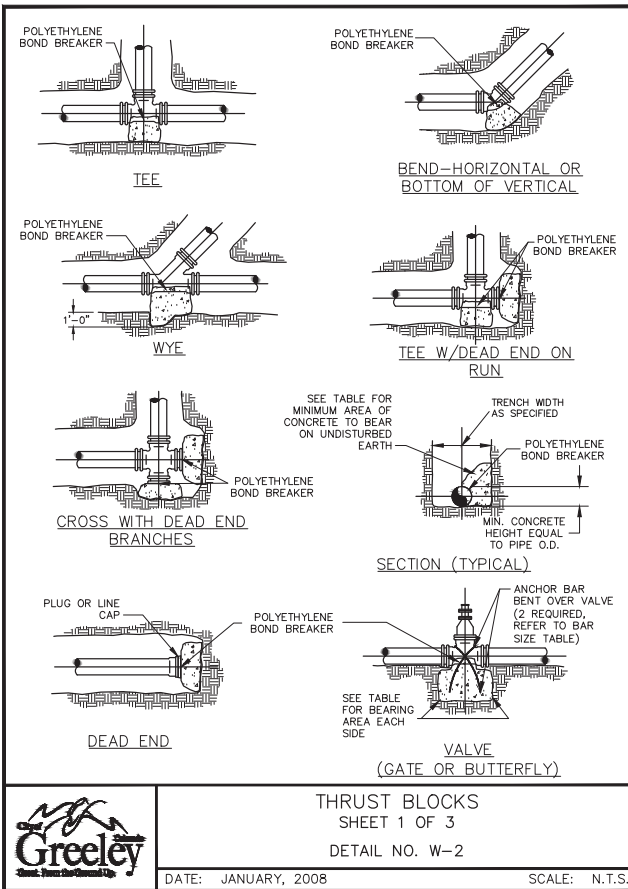
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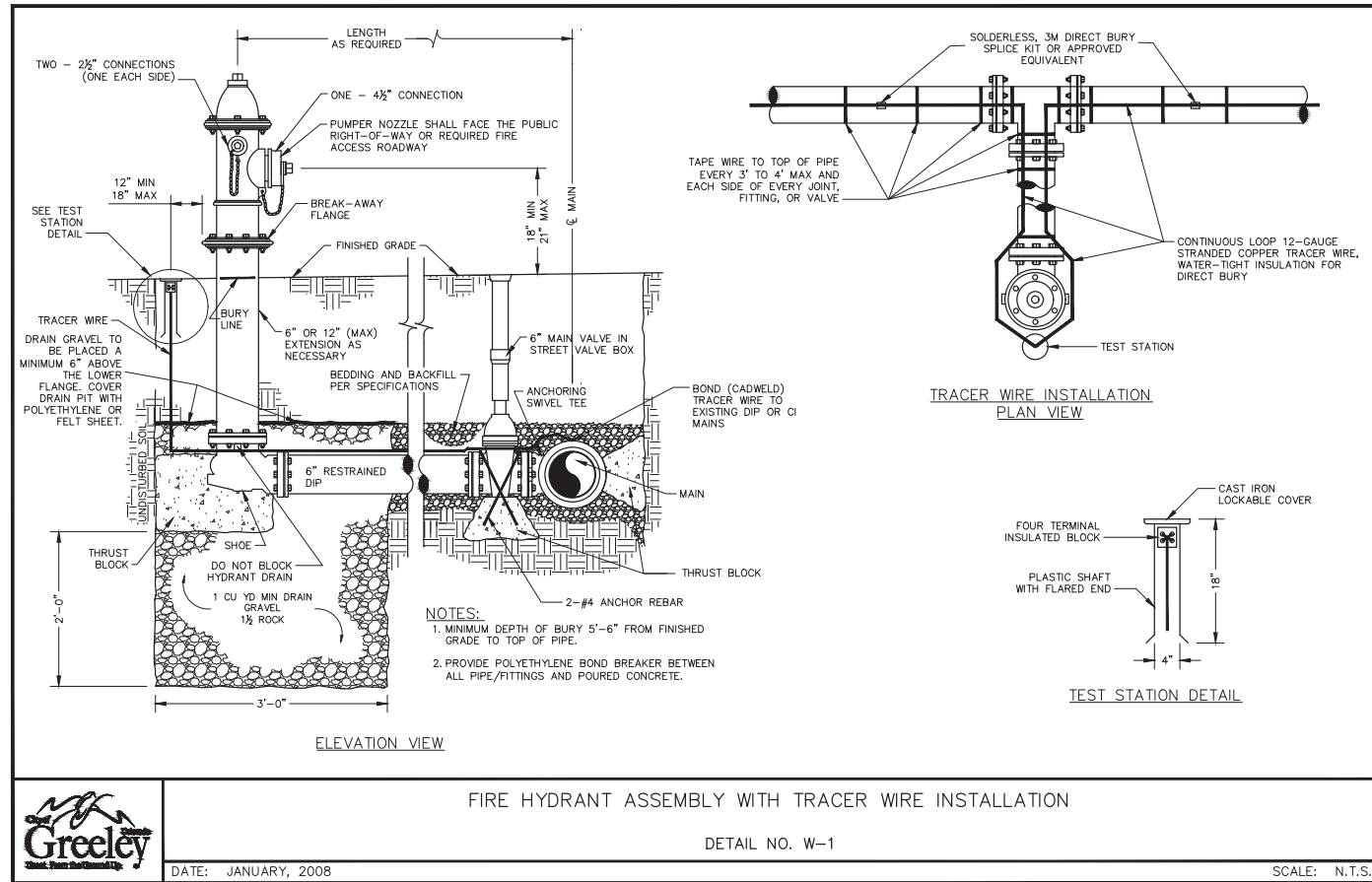
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erickw@engineer.com

DRAWN
EJW
CHECKED
DATE:
8/6/2019
SCALE:
NTS
PROJECT #
SHEET

C7



Note a fire hydrant is not required for this project. This detail is included for the tracer wire installation detailing and instructions.

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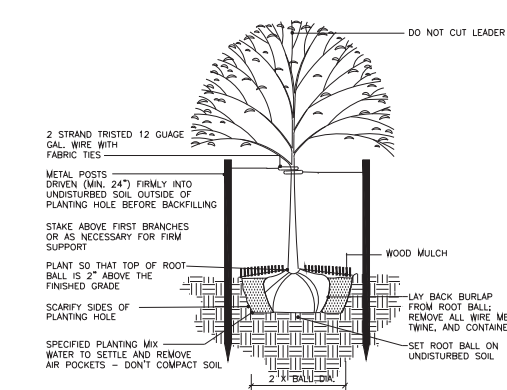
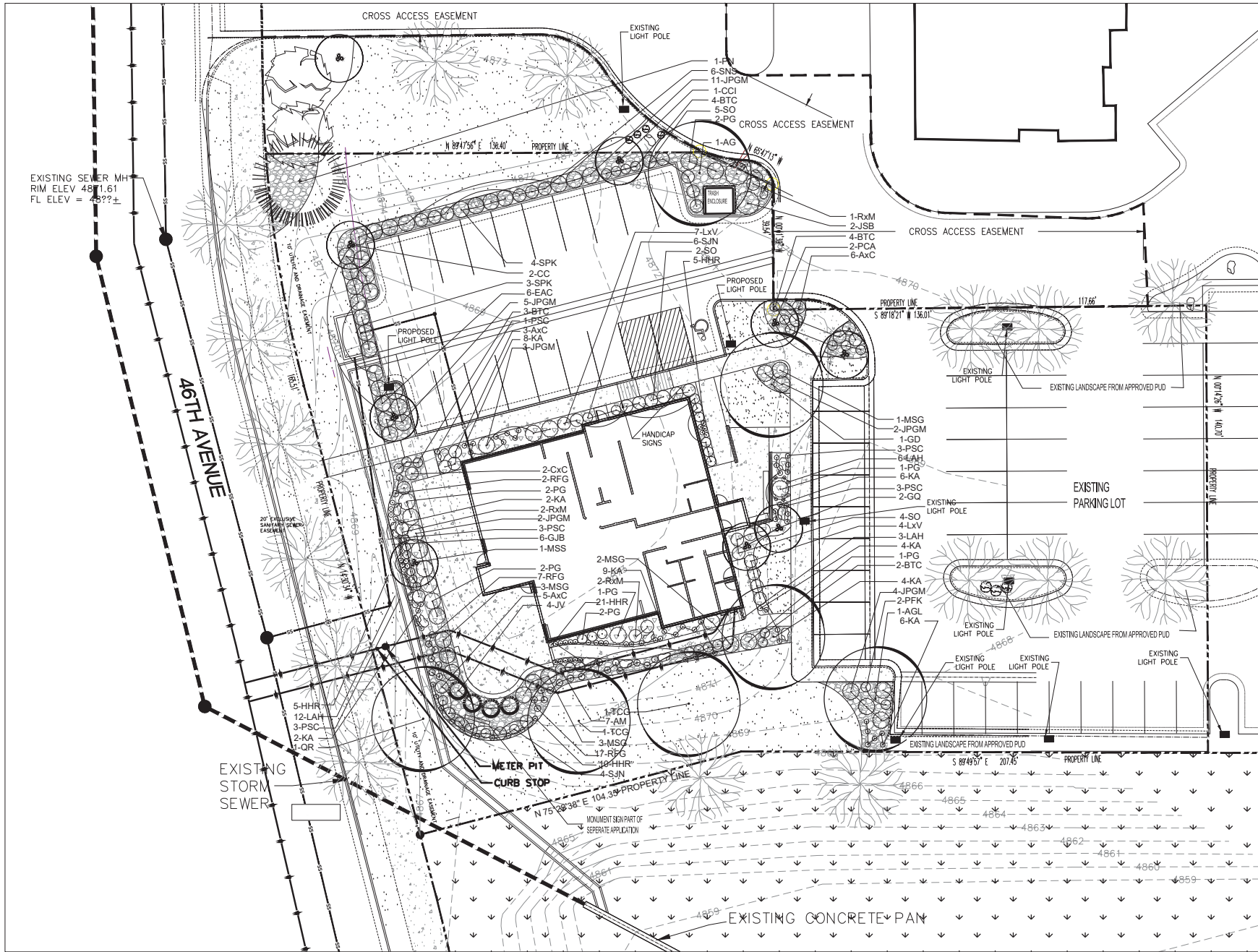
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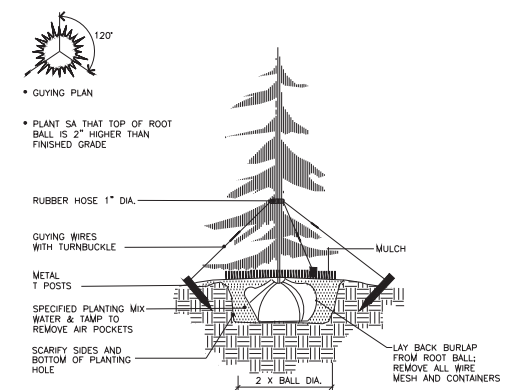
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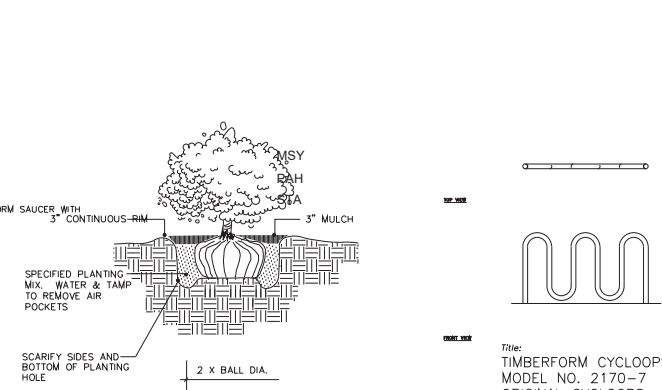
C8



A TREE PLANTING - IRRIGATED AREAS
NOT TO SCALE



B CONIFER TREE PLANTING - GUY WIRES
NOT TO SCALE



C SHRUB PLANTING
NOT TO SCALE

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	QTY	GROWTH HEIGHT	GROWTH SPREAD
DECIDUOUS TREES							
AG	Acer frbrum 'Red Sunset'	Red Sunset Maple	2" cal	B+B	1	40'-60'	30'-35'
GD	Gymnocladus dioicous	Kentucky Coffee Tree	2" cal	B+B	1	60'-75'	40'-50'
TCG	Tilia Cordata 'Greenspire'	Greenspire Linden	2" cal	B+B	2	40'-60'	30'-35'
AGL	Aesculus glabra	Ohio Buckeye	2" cal	B+B	1	15'-20'	15'-25'
QR	Quercus robur	English Oak	2" cal	B+B	1	60'-75'	40'-50'
ORNAMENTAL TREES							
PCA	Pyrus calleryanna 'Autumn Blaze'	Autumn Blaze Pear	1.5" cal.	B+B	2	40'-60'	15'-25'
CCI	Crataegus crus-galli inermis	Thornless Cockspur Hawthorn	1.5" cal.	B+B	1	15'-20'	15'-30"
CC	Cercis canadensis	Eastern Redbud	1.5" cal.	B+B	2	20'-30"	15'-30"
QG	Quercus gambelli	Gambel Oak	1.5" cal.	B+B	2	15'-20"	15'-30"
MSS	Malus 'Spring Snow'	Spring Snow Crabapple	1.5" cal.	B+B	1	15'-20"	15'-30"
EVERGREEN TREES							
PN	Pinus Nigra	Austrian Pine	6' ht	B+B	1	40'-60"	25'-40"
JV	Juniperus virginiana 'Sky Rocket'	Sky Rocket Juniper	6' ht	B+B	4	6'-12"	12'-15"
EVERGREEN SHRUBS							
JSB	Juniperus sabinia 'Buffalo'	Buffalo Juniper	5 gal.	7' o.c.	2	12'-15"	3'-5"
PG	Picea pungens 'Globosa'	Globe Spruce	5 gal.	5' o.c.	11	3'-5"	3'-5"
JPGM	Juniperus procumbens 'Green Mound'	Blue Chip Juniper	5 gal.	3' o.c.	28	1'-2"	3'-5"
DECIDUOUS SHRUBS							
AxC	Arctostaphylos x coloradoensis	Panchito Manzanita	5 gal.	4' o.c.	14		
BTC	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Japanese Barberry	5 gal.	5' o.c.	13	1'-2"	3'-5"
SJN	Spiraea japonica 'Anthony Water'	Little Princess Spirea	5 gal.	3' o.c.	10	2'-4"	2'-4"
EAC	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 gal.	3' o.c.	6	6'-8"	4'-6"
SNS	Spiraea nipponica 'Snowmound'	Snowmound Spirea	5 gal.	3' o.c.	6	4'-7"	4'-7"
RxM	Rosa x 'Meidiland White'	White Meidiland Rose	5 gal.	3' o.c.	5	3'-4"	2'-3"
PKF	Potentilla fruticosa 'Katheryn Dykes'	Kathryn Dikes Potentilla	5 gal.	4' o.c.	2	2'-3"	2'-3"
SPK	Syringa patula 'Miss Kim'	Miss Kim Lilac	5 gal.	5' o.c.	7	6'-8"	4'-6"
PGF	Potentilla fruticosa 'Gold Drop'	Gold Drop Potentilla	5 gal.	3' o.c.	4	2'-3"	2'-3"
CxC	Caryopteris x clandonensis 'Blue Mist'	Blue Mist Spirea	5 gal.	5' o.c.	2	4'-5"	4'-5"
LxV	Ligustrum vicaryi	Golden Vicary Privet	5 gal.	4' o.c.	11	4'-7"	4'-7"
SO	Symphoricarpos oriculata	Red Coralberry	5 gal.	4' o.c.	11	2'-3"	2'-3"
PERENNIALS AND ORNAMENTAL GRASSES							
PSC	Phlox subulata	Creeping Phlox	1 gal.	18" o.c.	13		
MSG	Miscanthus sinensis 'Gracillimus'	Gracillimus Grass	1 gal.	24" o.c.	9		
GJB	Granium 'Johnson Blue'	Blue Cranesbill	1 gal.	18" o.c.	6		
KA	Calamagrostis x acutiflora 'Karl Forester'	Karl Forester Grass	1 gal.	24" o.c.	41		
RFG	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	1 gal.	24" o.c.	26		
AM	Achillea 'Moonshine'	Moonshine Yarrow	1 gal.	24" o.c.	7		
PAH	Pennisetum alopecuroides 'Hamelin'	Dwarf Fountain Grass	1 gal.	18" o.c.	0		
HHR	Hererocalis 'Stella d' Oro'	Dwarf Daylily	1 gal.	24" o.c.	41		
LAH	Lavandula angustifolia 'Hidcote'	Deep Blue Lavender	1 gal.	18" o.c.	21		
ED	Hemerocallis 'Ernie Fanfare'	Fanfare Daylily	1 gal.	24" o.c.	0		
MSY	Miscanthus sinensis 'Yaku Jima'	Yaku Jima Maiden Grass	1 gal.	18" o.c.	0		
PSC	Phlox subulata	Creeping Phlox	1 gal.	18" o.c.	0		
COR	Coreopsis rosea	Pink Cloopsis	1 gal.	18" o.c.	0		

PLANT LEGEND

- DECIDUOUS CANOPY TREES
- ORNAMENTAL TREES
- EVERGREEN TREES
- EVERGREEN SHRUB
- DECIDUOUS SHRUB
- PERENNIALS
- EXISTING TREE
- EXISTING SHRUB
- 3/4" - 2" ROCK MULCH
- BLUEGRASS TURF
- BARK MULCH
- STEEL EDGER
- 3' to 4' BOULDER
- 1 to 2" BOULDER

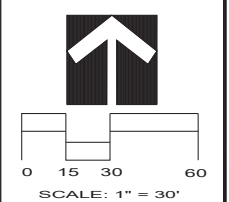
PLANT NOTES

- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BAILED AND BURLAPPED OR EQUIVALENT.
- NO PLANT MATERIAL WITH MATURE GROWTH GREATER THAN THREE FEET (3') IN HEIGHT SHALL BE PLANTED WITHIN WATER AND SEWER EASEMENTS.
- NO SHRUBS SHALL BE PLANTED WITHIN FIVE (5) FEET OR TREES WITHIN (10) FEET OF POTABLE AND NONPOTABLE WATER METERS, FIRE HYDRANTS, SANITARY SEWER MANHOLES, OR POTABLE WATER, SANITARY SEWER, AND NON POTABLE IRRIGATION MAINS AND SERVICES (VOLUME III, SECTION 2.05 B).
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ALL LANDSCAPE AREAS WITHIN THE SITE SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. AN IRRIGATION PLAN WILL BE REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- ALL TURF AREAS TO BE SOODED AND IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION (TRICKLE) IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- ALL SHRUB BEDS TO BE MULCHED 3" DEEP WITH 3/4" RIVER ROCK PLACED ON WEED BARRIER FABRIC.
- EDGING BETWEEN GRASS AND SHRUB BEDS SHALL BE 1/2" X 4" STEEL SET LEVEL WITH TOP OF GRADE.
- TOPSOIL TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE.
- SOIL AMENDMENTS: PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED, 4 CU YRDS/1000 SQ.FT. OF ORGANIC AMENDMENTS SUCH AS COMPOST, PEAT, OR AGED MANURE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL.

Construction must be in accordance with applicable City of Greeley Construction Standards. The City's acceptance allows for plan distribution and permit application. The City's acceptance shall not relieve the design engineer's responsibility for errors, omissions, or design deficiencies for which the City is held harmless.

Accepted by: _____ Date: _____
Engineering Development Review and Civil Inspections Manager

Accepted by: _____ Date: _____
Community Development Director



ENGINEER
WERNSMAN ENGINEERING
ERIC WERNSMAN
EVANS COLORADO
(970) 539-2656
LANDSCAPE ARCHITECT
ROB MOLLOY
980 NORWAY MAPLE DRIVE
LOVELAND, CO
970-988-5301

ARCHITECT
14 ARCHITECTS
226 REMINGTON UNIT 3
FORT COLLINS, COLORADO
970-224-0630

GREELEY SPORTS BAR SUFFOLK PUD LOT 2 FINAL DEVELOPMENT PLAN

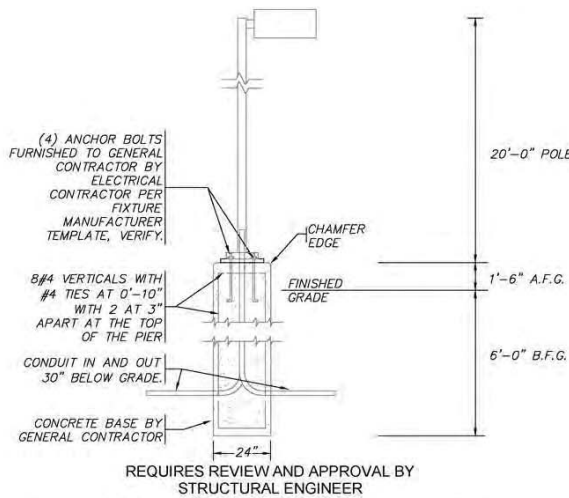
2500 Block of 46th Avenue | GREELEY, COLORADO

LANDSCAPE PLAN

DATE: 05/23/2019
JOB NO.:
DRAWN: RM
CHECKED:
REVISED: 07/11/2019
08/06/2019

LS 1.0

Product information for ALED4T105Y, including technical specifications, LED data, and contact information.

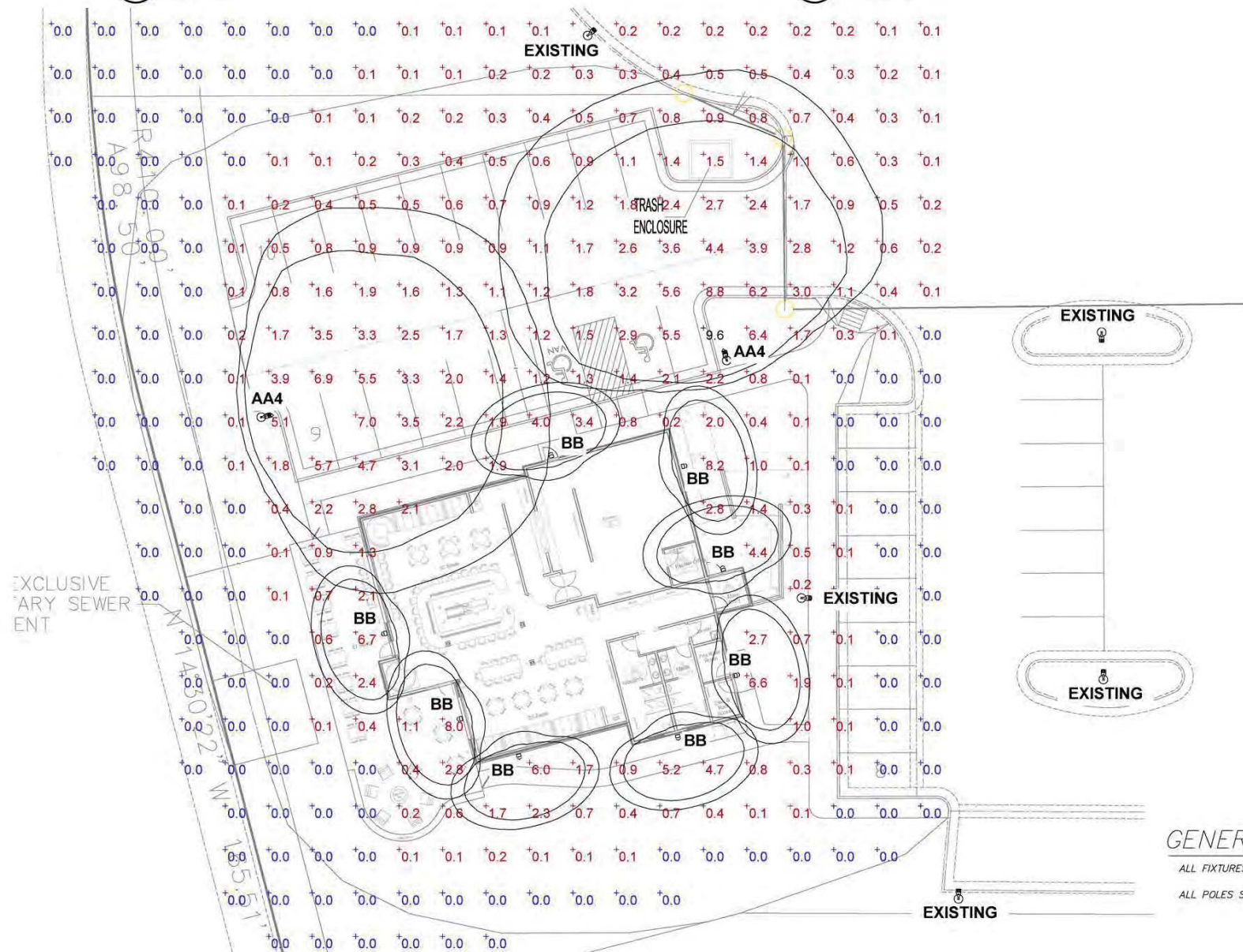


Product information for WST LED Architectural Wall Scape, including technical specifications, LED data, and contact information.

2 TYPE AA4 SCALE: N.T.S.

3 FIXTURE TYPE "AAx" BASE DETAIL SCALE: N.T.S.

4 TYPE BB SCALE: N.T.S.



Schedule table listing lighting fixtures, including labels, quantities, manufacturers, catalog numbers, descriptions, lamp types, and wattage.

Luminaire Locations table listing the location of each luminaire, including coordinates, height, and aim.

Statistics table providing summary data for the lighting design, including average and maximum footcandle readings.

GENERAL NOTES

ALL FIXTURES SHALL BE FULL CUT OFF AND MOUNTED IN THE FULL CUT OFF POSITION.
ALL POLES SHALL BE PAINTED IN A DARK NON-REFLECTIVE COLOR

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS. THE CITY'S ACCEPTANCE ALLOWS FOR PLAN DISTRIBUTION AND PERMIT APPLICATION. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: COMMUNITY DEVELOPMENT DIRECTOR DATE

In Association with: Kenney's Steak House, Owner; Larsen Structural Design, Structural Engineer; Galloway, Mech. & Plumb. Engineer; APS, Inc., Electrical Engineer; Sherman Design, Interior Design.

3PM Design Kitchen Design

Issued table showing the revision history of the plan, including issue number, description, and date.

Greeley Sports Bar

Suffolk PUD Lot 2 2500 Block of 46th Avenue, Greeley, Colorado

Final PUD

Project No.: 225-19 Drawn by: APS Reviewed by: CMP

Photometric Plan

Drawing Number Scale Accordingly if Reduced

E1

In Association with:
Kenney's Steak House Owner
3502 W 10th Street
Greeley, CO 80534
Phone: (970) 332-4377
Contact: Matt Larson & Alex Larson
Email: Saadman33@hotmail.com; Alex_Larson@live.com

TBD General Contractor
Address
City, State, Zip
Phone: #
Contact: -
Email: -

Larsen Structural Design Structural Engineer
19 Old Town Square, Suite 238
Fort Collins, CO 80524
Phone: (970) 569-3355
Contact: Blake Larsen
Email: blake@larsend.com

Galloway Mech. & Plumb. Engineer
5265 Ronald Reagan Blvd.
Johnstown, CO 80534
Phone: (970) 800-3300
Contact: Alicia Thorpe
Email: AliciaThorpe@GallowayUS.com

APS, Inc. Electrical Engineer
5249 S. Broadway #200-836
Highlands Ranch, CO 80129
Phone: (303) 381-7482
Contact: Chuck Polson
Email: chuck@apsinc.biz

Sherman Design Interior Design
933 E. Ridgecrest Road
Fort Collins, CO 80524
Phone: (970) 231-6127
Contact: Renee Sherman
Email: shermansdesign@gmail.com

3PM Design Kitchen Design
Address
City, State, Zip
Phone: (303) 840-0883
Contact: Pierre Metekus
Email: monsbbs@3pmdesign.com

No.	Description	Date
1	Final PUD	5/23/2019

Greeley Sports Bar

Suffolk PUD Lot 2
2500 Block of 46th Avenue,
Greeley, Colorado

Final PUD

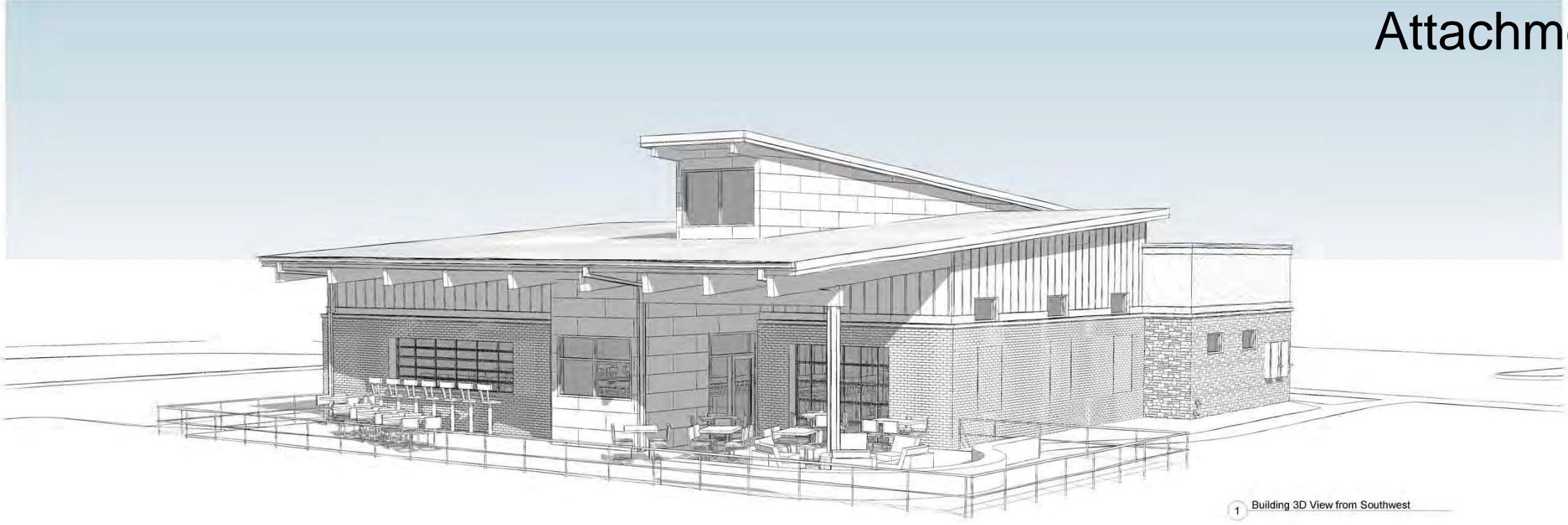
Project No.: 2019-17 Drawn by: SA
Reviewed by: MR

Building Elevations, 3D View & Trash Enclosure

Scale Accordingly if Reduced

Drawing Number

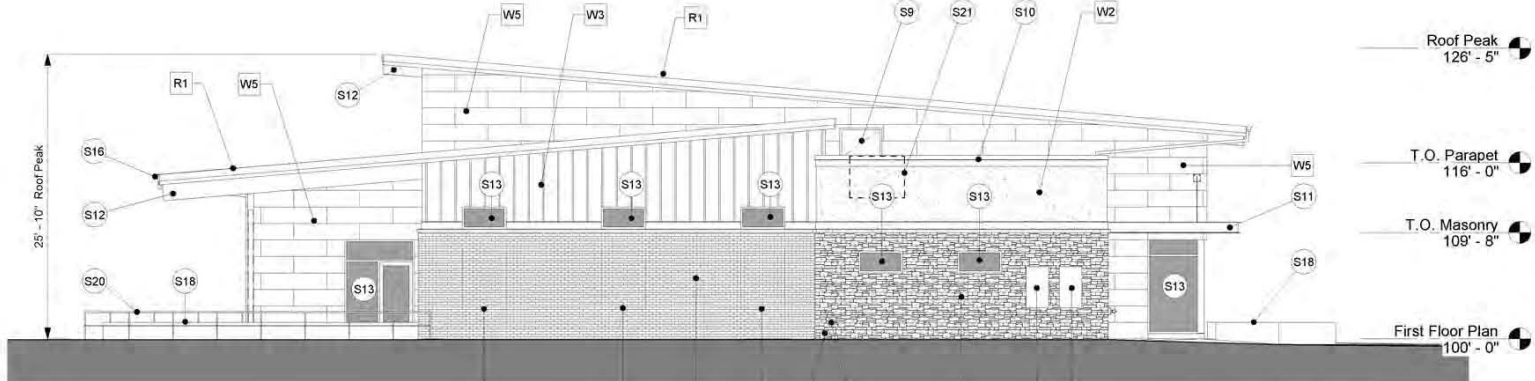
A1



1 Building 3D View from Southwest

Keynote Legend	
Key Value	Keynote Text
S1	Electrical gear and meters painted to match adjacent building material
S2	Gas meter(s) per utility provider, paint to match adjacent wall material
S3	Fire Department Connection
S4	Knox box per PFA requirements
S5	Roof drain, Zurn lambs tongue
S6	Overflow roof drain, Zurn lambs tongue
S7	Trim banding, finish to match adjacent finish material
S8	Brick veneer recessed 1/2" from typical finish face
S9	Exterior insulated hollow metal door & frame w/ thermal threshold, painted to match adjacent building material.
S10	Prefinished break metal cap flashing, refer to section details
S11	Roof canopy with steel channel fascia painted.
S12	Exposed glulam wood beam, stain & seal
S13	Aluminum frame storefront system with Low-E glazing and operable man door.
S14	Aluminum frame overhead door with Low-E glazing
S15	Solid surface bar top
S16	Prefinished gutter & downspout
S18	Exterior concrete site wall with chamfered edges, Standard concrete color.
S19	Steel trash enclosure gate with 1 1/2" metal decking, factory primed field painted to match "Weathered Copper" flashings.
S20	Metal prefinished fence/railing.
S21	Roof mounted mechanical equipment screened by parapet (dashed)

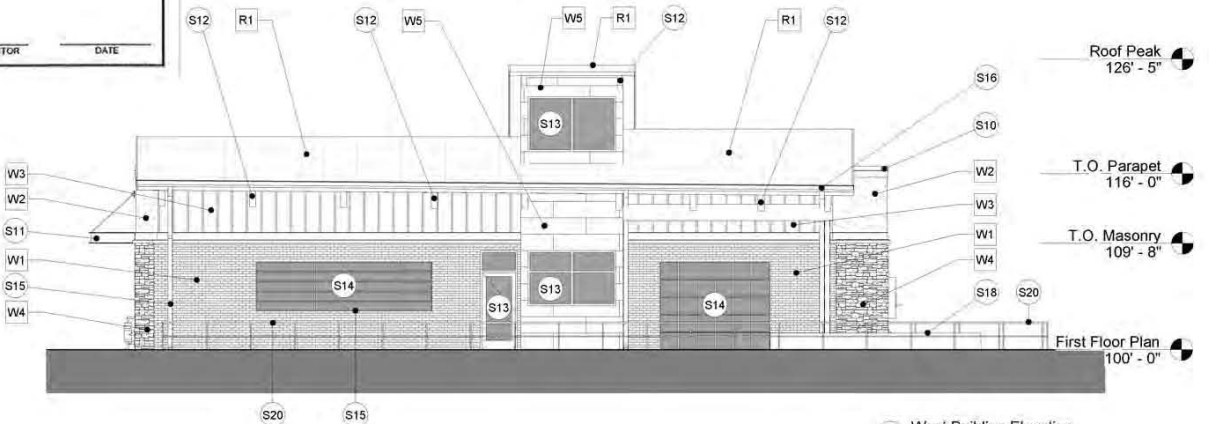
Exterior Material Legend	
W1	Modular Brick - 4" Veneer Manuf: General Shale Product: Modular Brick, running bond Color: Light Gray
W2	Stucco Manuf: S10 Product: Hardcoat Stucco Color: Light Beige (Similar to Homewood Suites Light Body Color)
W7	Sim. - Stucco over 8" solid CMU at Trash Enclosure
W3	Board & Batten Vertical Siding Manuf: LP Product: Smartside Panel + Batten Strips Color: Beige
W4	Synthetic Stone Veneer Manuf: Horizon Stone Product: 19th Century Color: Mossy Creek (Similar to Chick-fil-A stone)
W6	Sim. - Stone Veneer over 8" solid CMU at Trash Enclosure
W5	Cementitious Siding Panel Manuf: Nichiha Product: Architectural Illumination Wall Panel Color: Cocoa
R1	Standing Seam Metal Roof Manuf: Berridge Product: Prefinished "Cee-lock" standing seam metal Color: Galvalume



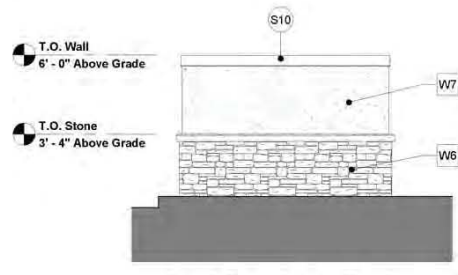
2 South Building Elevation
1/8" = 1'-0"

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS. THE CITY'S ACCEPTANCE ALLOWS FOR PLAN DISTRIBUTION AND PERMIT APPLICATION. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

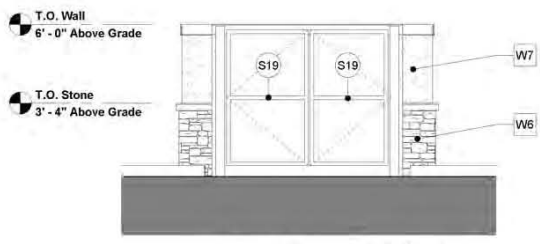
ACCEPTED BY: _____ DATE _____



3 West Building Elevation
1/8" = 1'-0"



5 Trash Enclosure Typical Elevation
1/4" = 1'-0"



4 Trash Enclosure Gate Elevation
1/4" = 1'-0"

In Association with:
Kenney's Steak House Owner
3502 W 10th Street
Greeley, CO 80634
Phone: (970) 332-4377
Contact: Matt Larson & Alex Larson
Email: Saadman33@hotmail.com; Alex_Larson@live.com

TBD General Contractor
Address
City, State, Zip
Phone: #
Contact: -
Email: -

Larsen Structural Design Structural Engineer
19 Old Town Square, Suite 238
Fort Collins, CO 80524
Phone: (970) 569-3355
Contact: Blake Larsen
Email: blake@larsensd.com

Galloway Mech. & Plumb. Engineer
5265 Ronold Reagan Blvd.
Johnstown, CO 80534
Phone: (970) 800-3300
Contact: Alicia Thorpe
Email: AliciaThorpe@GallowayUS.com

APS, Inc. Electrical Engineer
5249 S. Broadway, #200-836
Highlands Ranch, CO 80129
Phone: (303) 381-7462
Contact: Chuck Polson
Email: chuck@apsinc.biz

Sherman Design Interior Design
933 E. Ridgecrest Road
Fort Collins, CO 80524
Phone: (970) 231-6127
Contact: Renee Sherman
Email: shermandesigns@gmail.com

3PM Design Kitchen Design
Address
City, State, Zip
Phone: (303) 840-0883
Contact: Pierre Metekus
Email: monsbbe@3pmdesign.com

Issued
No. Description Date
1 Final PUD 5/23/2019

Greeley Sports Bar

Suffolk PUD Lot 2
2500 Block of 46th Avenue,
Greeley, Colorado

Final PUD

Project No.: 2019-17 Drawn by: SA
Reviewed by: MR

**Building Elevations &
3D View**

Scale Accordingly if Reduced

Drawing Number

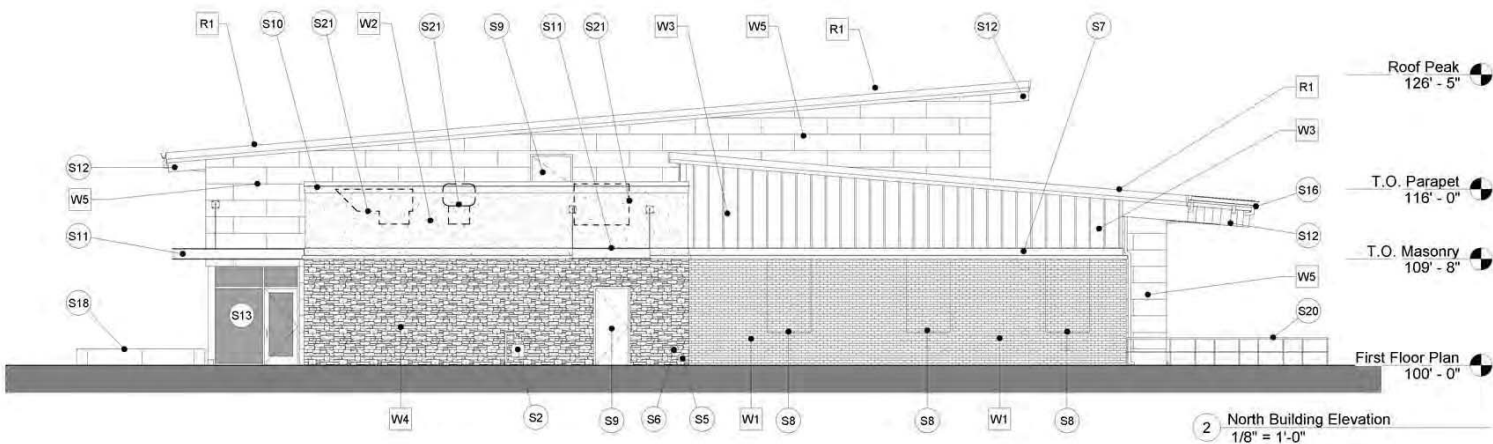
A2



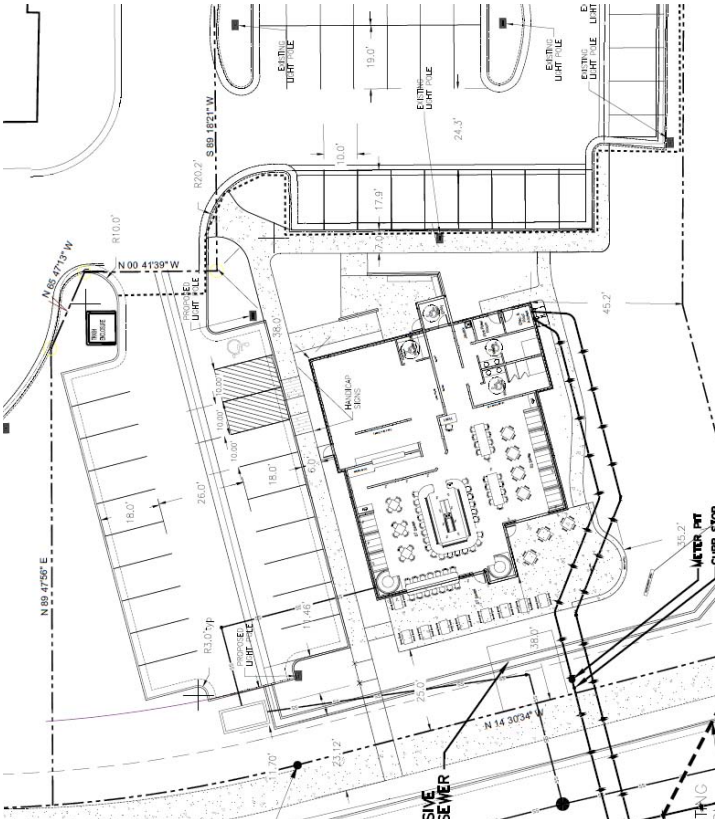
Building 3D View from Northeast

Keynote Legend	
Key Value	Keynote Text
S1	Electrical gear and meters painted to match adjacent building material
S2	Gas meter(s) per utility provider, paint to match adjacent wall material
S3	Fire Department Connection
S4	Knox box per PFA requirements
S5	Roof drain, Zurn lambs tongue
S6	Overflow roof drain, Zurn lambs tongue
S7	Trim banding, finish to match adjacent finish material
S8	Brick veneer recessed 1/2" from typical finish face
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S20	Metal prefinished fence/railing.
S21	Roof mounted mechanical equipment screened by parapet (dashed)

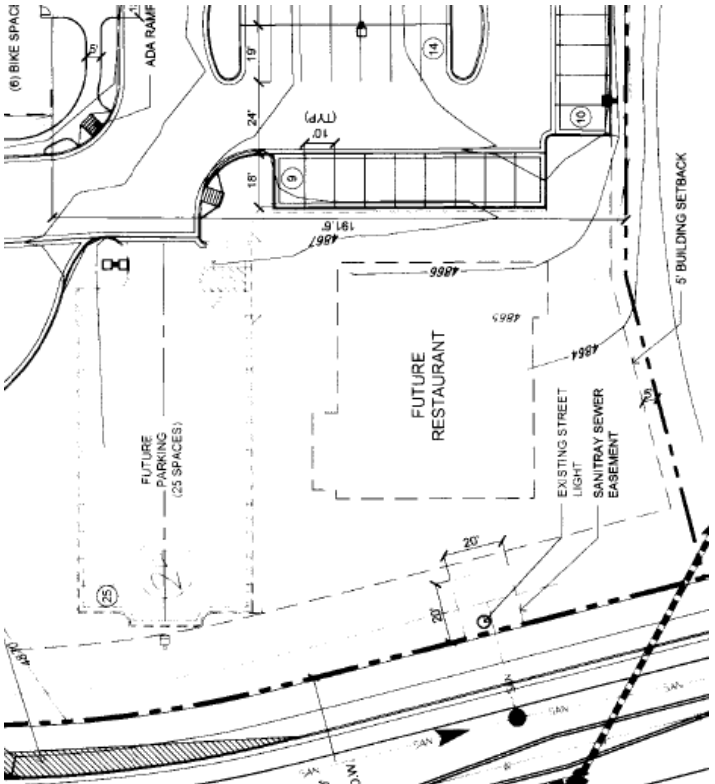
Exterior Material Legend	
W1	Modular Brick - 4" Veneer Manuf: General Shale Product: Modular Brick, running bond Color: Light Gray
W2	Stucco Manuf: STO Product: Hardcoat Stucco Color: Light Beige (Similar to Homewood Suites Light Body Color)
W7	Sim. - Stucco over 8" solid CMU at Trash Enclosure
W3	Board & Batten Vertical Siding Manuf: LP Product: SmartSide Panel + Batten Strips Color: Beige
W4	Synthetic Stone Veneer Manuf: Horizon Stone Product: 19th Century Color: Mossy Creek (Similar to Chick-fil-A stone)
W6	Sim. - Stone Veneer over 8" solid CMU at Trash Enclosure
W5	Cementitious Siding Panel Manuf: Nichiha Product: Architectural Illumination Wall Panel Color: Cocoa
R1	Standing Seam Metal Roof Manuf: Berridge Product: Prefinished "Cee-lock" standing seam metal Color: Galvalume



Current Proposed



2012 Preliminary PUD



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SUFFOLK MINOR SUBDIVISION
BEING A RESUBDIVISION OF LOT 1, SUFFOLK SUBDIVISION FIFTH FILING,
BEING PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 5 NORTH,
RANGE 66 WEST OF THE 6TH P.M., CITY OF GREELEY,
COUNTY OF WELD, STATE OF COLORADO

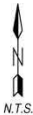
GENERAL NOTES:

- A.
STREET MAINTENANCE. IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY THE CITY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND PROVIDED THAT CONSTRUCTION OF SAID ROADWAY(S) IS STARTED WITHIN ONE (1) YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE CITY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.
- B.
DRIVES, PARKING AREAS AND UTILITY EASEMENTS MAINTENANCE. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS' ASSOCIATION OR OTHER ENTITY OTHER THAN THE CITY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS AND EASEMENTS (CROSS-ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.)
- C.
DRAINAGE MAINTENANCE. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE DEVELOPMENT AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. THE CITY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE CITY SHALL NOTIFY THE PROPERTY OWNER IN WRITING AND SHALL INFORM THE OWNER THAT CORRECTIVE ACTION BY THE OWNER SHALL BE REQUIRED WITHIN TEN (10) WORKING DAYS OF RECEIPT OF NOTIFICATION BY THE CITY. UNLESS AN EMERGENCY EXISTS, IN WHICH CASE CORRECTIVE ACTION SHALL BE TAKEN IMMEDIATELY UPON RECEIPT OF NOTIFICATION BY THE CITY. IF THE OWNER FAILS TO TAKE CORRECTIVE ACTION WITHIN TEN (10) WORKING DAYS, THE CITY MAY PROVIDE THE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.
- D.
DRAINAGE LIABILITY. THE CITY DOES NOT ASSUME ANY LIABILITY FOR DRAINAGE FACILITIES IMPROPERLY DESIGNED OR CONSTRUCTED. THE CITY REVIEWS DRAINAGE PLANS BUT CANNOT, ON BEHALF OF ANY APPLICANT, OWNER OR DEVELOPER, GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW AND APPROVAL BY THE CITY WILL RELIEVE SAID PERSON, HIS SUCCESSORS AND ASSIGNS, FROM LIABILITY DUE TO IMPROPER DESIGN. CITY APPROVAL OF A FINAL PLAT DOES NOT IMPLY APPROVAL OF THE DRAINAGE DESIGN WITHIN THAT PLAT.
- E.
LANDSCAPE MAINTENANCE. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS' ASSOCIATION OR ENTITY OTHER THAN THE CITY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING OR WALLS, LANDSCAPING AND LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST OR AN ENTITY OTHER THAN THE CITY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.
- F.
SIGHT DISTANCE. THE CLEAR VISION ZONE OF A CORNER LOT, AS DETERMINED BY SECTION 18-44.090(B)(1) OF THE DEVELOPMENT CODE, SHALL BE FREE FROM SHRUBS, GROUND COVERS, BERMS, FENCES, SIGNS, STRUCTURES, PARKED VEHICLES OR OTHER MATERIALS OR ITEMS GREATER THAN THIRTY-SIX (36) INCHES IN HEIGHT FROM THE STREET LEVEL.
- G.
PUBLIC SAFETY. ACCESS, WHETHER FOR EMERGENCY OR NONEMERGENCY PURPOSES, IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS' ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.
- I.
MAINTENANCE EASEMENTS. A MAINTENANCE EASEMENT IS REQUIRED FOR DEVELOPMENTS WITH ZERO SIDE SETBACKS. IF ONE (1) STRUCTURE IS BUILT ON LOT LINE, IN ORDER TO MAINTAIN THE STRUCTURE WITH THE ZERO SIDE SETBACK, A MAINTENANCE EASEMENT MAY BE REQUIRED ON THE ADJACENT LOT TO ENABLE MAINTENANCE TO BE PERFORMED ON SAID STRUCTURE FROM THE ADJOINING PROPERTY. EACH LOT OWNER AGREES TO ALLOW ADJACENT LOT OWNERS ACCESS ACROSS THEIR LOT, WITHIN FIVE (5) FEET OF THE COMMON LOT LINE. AS MAY BE NEEDED TO MAINTAIN AND REPAIR THE ADJACENT OWNER'S PRINCIPAL STRUCTURE, EACH ADJACENT OWNER AGREES TO REPAIR ANY DAMAGE WHICH MAY BE CAUSED TO THE LOT OWNER'S PROPERTY FROM THE ADJACENT OWNER'S USE OF THIS MAINTENANCE EASEMENT AND TO TAKE ALL NECESSARY STEPS TO AVOID CAUSING SUCH DAMAGE.
- J.
STREET LIGHTING. ALL LOTS ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS SUBDIVISION, TOGETHER WITH RATES, RULES AND REGULATIONS THEREIN PROVIDED AND SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNERS OR THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY, AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING IN THE SUBDIVISION IN ACCORDANCE TO APPLICABLE RATES, RULES AND REGULATIONS, INCLUDING FUTURE AMENDMENTS AND CHANGES ON FILE WITH THE PUBLIC UTILITIES COMMISSION.
- K.
WATER OR SEWER MAIN EASEMENTS. THERE SHALL BE NO PERMANENT STRUCTURES, FENCES, DETENTION PONDS, LANDSCAPING (PLANTINGS OR BERMS) GREATER THAN THREE (3) FEET TALL MATURE GROWTH, OR OTHER ENCUMBRANCES LOCATED IN WATER OR SEWER MAIN EASEMENTS.

EASEMENTS AND RIGHTS-OF-WAY NOTES:

- (PROVIDED BY STEWART TITLE GUARANTEE COMPANY COMMITMENT NO. 362058, DATED FEBRUARY 6, 2019, SCHEDULE B PART II EXCEPTIONS, AND RELIED UPON, SOLELY, BY THOMAS LAND SURVEYING, LLC FOR ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD)
9. CONVEYANCE OF MINERAL RIGHTS IN DEED RECORDED JULY 20, 1984 AS RECEPTION NO. 01974845. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. (NO EASEMENTS OR RIGHTS-OF-WAY FOUND - NOT PLOTTED)
10. RESERVATION OF ALL EASEMENTS AND RIGHTS OF WAY IN RELINQUISHMENT AND QUIT CLAIM DEED RECORDED APRIL 5, 1989 AS RECEPTION NO. 2175777. (INSTRUMENT RESERVES RIGHTS OF ENTRY FOR PURPOSES OF MINERAL EXTRACTION - BLANKET IN NATURE - NOT PLOTTED)
11. ALL MATTERS AS SHOWN ON THE PLAT OF SUFFOLK SUBDIVISION RECORDED MAY 4, 2004 AS RECEPTION NO. 3176444. (NO EASEMENTS OR RIGHTS-OF-WAY FOUND - NOT PLOTTED)
12. DRAINAGE UTILITY EASEMENT RECORDED MAY 6, 2004 AS RECEPTION NO. 3177523. (EASEMENT WAS MODIFIED BY PLAT OF SUFFOLK SUBDIVISION FIFTH FILING AT RECEPTION NO. 4113638 08/05/2015 - NOT PLOTTED)
13. DEVELOPMENT AGREEMENT RECORDED MAY 13, 2004 AS RECEPTION NO. 3179849. (NO EASEMENTS OR RIGHTS-OF-WAY FOUND - NOT PLOTTED)
14. EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED MAY 7, 2004 AS RECEPTION NO. 3178359 AND FIRST AMENDMENT RECORDED FEBRUARY 25, 2013 AS RECEPTION NO. 3912360. ASSUMPTION AGREEMENT RECORDED APRIL 10, 2012 AS RECEPTION NO. 3837633. AND SECOND AMENDMENT RECORDED NOVEMBER 19, 2013 AS RECEPTION NO. 3979019. THIRD AMENDMENT RECORDED FEBRUARY 5, 2014 AS RECEPTION NO. 3994371. (THE DESCRIBED LOTS ARE THE LOWES PARCEL AND THE DEXTER PARCEL AND THE INSTRUMENT DOES NOT RELATE TO THE SUBJECT PARCEL - NOT PLOTTED)
15. PLANNED UNIT DEVELOPMENT APPROVAL DOCUMENT RECORDED MAY 6, 2004 AS RECEPTION NO. 3177524. (NO EASEMENTS OR RIGHTS-OF-WAY FOUND - NOT PLOTTED)
16. REIMBURSEMENT, EASEMENT AND CONSTRUCTION AGREEMENT RECORDED MAY 7, 2004 AS RECEPTION NO. 3178360. (PLOTTED)
17. DEVELOPMENT AGREEMENT SUFFOLK PUD RECORDED MAY 13, 2004 AS RECEPTION NO. 3179849 AND AMENDMENT RECORDED MARCH 27, 2014 AS RECEPTION NO. 4004986. (NO EASEMENTS OR RIGHTS-OF-WAY FOUND - NOT PLOTTED)
18. RESTRICTIVE COVENANTS (NO IRRIGATION) RECORDED JULY 8, 2005 AS RECEPTION NO. 3301151. (NO EASEMENTS OR RIGHTS-OF-WAY FOUND - NOT PLOTTED)
19. COVENANT NOT TO COMPETE RECORDED NOVEMBER 9, 2006 AS RECEPTION NO. 3433756. (NO EASEMENTS OR RIGHTS-OF-WAY FOUND - NOT PLOTTED)
20. EXCLUSIVE WATER EASEMENT RECORDED SEPTEMBER 19, 2006 AS RECEPTION NO. 3420568. (PLOTTED)
21. MATTERS AS SHOWN ON ALTA/ACSM LAND TITLE SURVEY DATED FEBRUARY 6, 2008 BY KING SURVEYORS, INC. RECORDED MAY 5, 2008 AS RECEPTION NO. 3551861. A 10' UTILITY AND DRAINAGE EASEMENT ALONG THE WEST LINE OF LOT 4, A 30' EXCLUSIVE WATER & SANITARY SEWER EASEMENT ON THE WEST LINE OF LOT 4, A 20' EXCLUSIVE SANITARY SEWER EASEMENT ON THE WEST LINE OF LOT 4, A 50' DRAINAGE EASEMENT ACROSS LOT 4. (PLOTTED AS A PART OF THIS SURVEY)
22. DECLARATION OF RIGHTS, OBLIGATIONS, AND EASEMENT RECORDED MARCH 22, 2012 AS RECEPTION NO. 3833437 AND FIRST AMENDMENT RECORDED FEBRUARY 25, 2013 AS RECEPTION NO. 3912359. SECOND AMENDMENT RECORDED JUNE 4, 2014 AS RECEPTION NO. 4000628. AND ASSUMPTION AGREEMENT RECORDED APRIL 10, 2012 AS RECEPTION NO. 3837633. (NO DESCRIBED EASEMENTS OR RIGHTS-OF-WAY FOUND - NOT PLOTTED)
23. ALL MATTERS SHOWN ON THE PLAT OF SUFFOLK SUBDIVISION THIRD FILING RECORDED NOVEMBER 12, 2013 AS RECEPTION NO. 3977396. (PLOTTED AS WITHIN THE SCOPE OF THIS SURVEY)
24. RIGHT OF WAY EASEMENT RECORDED MAY 22, 2014 AS RECEPTION NO. 4018002. (PLOTTED)
25. OIL AND GAS LEASE RECORDED JUNE 20, 2014 AS RECEPTION NO. 4025038. THERE MAY BE GRANTS, LEASES, ASSIGNMENTS AND EXTENSIONS THAT ARE NOT LISTED. (LEASE IS DESCRIBED AS A NON-SURFACE USE OIL AND GAS LEASE. RIGHTS OF INGRESS/EGRESS MAY APPLY - LEASE COVERS ALL OF THE SUBJECT PARCEL - NOT PLOTTED)
26. ALL MATTERS SHOWN ON THE PLAT OF SUFFOLK SUBDIVISION FIFTH FILING RECORDED JUNE 5, 2015 AS RECEPTION NO. 4113638. (PLOTTED AS WITHIN THE SCOPE OF THIS SURVEY)
27. THIRD PARTY LENDER AGREEMENT RECORDED SEPTEMBER 17, 2015 AS RECEPTION NO. 4142792. (NO EASEMENTS OR RIGHTS-OF-WAY FOUND - NOT PLOTTED)

VICINITY MAP



SURVEYOR NOTES:

1. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF STEWART TITLE GUARANTEE COMPANY COMMITMENT NO. 362058, DATED FEBRUARY 6, 2019, AND DOES NOT CONSTITUTE A TITLE SEARCH BY THOMAS LAND SURVEYING, LLC. TO DETERMINE TITLE OR EASEMENTS OF RECORD, AT CLIENTS REQUEST, THOMAS LAND SURVEYING, LLC RELIED ON SAID COMMITMENT. SOLELY, FOR ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS; AND ANY OTHER FACTS THAT SAID TITLE COMMITMENT MAY DISCLOSE.
2. ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
3. THIS SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
4. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT AND/OR BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE, C.R.S. SEC 18-4-508. WHOEVER WILLFULLY DESTROYS, DEFACES, CHANGES, OR REMOVES TO ANOTHER PLACE ANY SECTION CORNER, QUARTER CORNER, OR MEANDER POST, ON ANY GOVERNMENT LINE OF SURVEY, OR WILLFULLY CUTS DOWN ANY WITNESS TREE OR ANY TREE BLAZED TO MARK THE LINE OF A BENCH MARK OF ANY GOVERNMENT SURVEY, SHALL BE FINED UNDER THIS TITLE OR IMPRISONED NOT MORE THAN SIX MONTHS, OR BOTH, 18 U.S.C. 1858 (2009).
6. THE DISTANCE MEASUREMENTS SHOWN HEREON ARE U.S. SURVEY FOOT.
7. (M) DENOTES FIELD MEASURED DISTANCES. (P) DENOTES PLATTED DISTANCES. (D) DENOTES DEEDED DISTANCES.

LEGAL DESCRIPTION

LOT 1, SUFFOLK SUBDIVISION FIFTH FILING, BEING A RESUBDIVISION OF LOT 1, SUFFOLK SUBDIVISION THIRD FILING AND OUTLOT B, SUFFOLK SUBDIVISION, BEING A PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M., CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 266,284 SQUARE FEET (6.11 ACRES), MORE OR LESS AND IS SUBJECT TO RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

OWNERSHIP DEDICATION

SHAN I, LLC BEING THE SOLE OWNER IN FEE OF THE PROPERTY, DESCRIBED HEREIN, SHOWN ON THE ATTACHED MAP AS EMBRACED WITHIN THE HEAVY EXTERIOR LINES THEREON, HAVE SUBDIVIDED THE SAME INTO LOTS AND BLOCKS AS SHOWN ON THE ATTACHED MAP; AND DOES HEREBY SET ASIDE SAID PORTION OR TRACT OF LAND AND DESIGNATE THE SAME SUFFOLK MINOR SUBDIVISION, AND DOES FURTHER CERTIFY THAT THE DIMENSIONS OF THE LOTS AND BLOCKS AND THE NAMES AND NUMBERS THEREOF ARE CORRECTLY DESIGNATED UPON SAID MAP.

SHAN I, LLC
BY: _____
WITNESS MY HAND AND SEAL THIS ____ DAY OF _____, A.D. _____
NOTARIAL
STATE OF COLORADO
CITY OF GREELEY, WELD COUNTY
THE FORGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20____.
MY COMMISSION EXPIRES: _____
WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

CERTIFICATE OF APPROVAL BY THE
COMMUNITY DEVELOPMENT DIRECTOR

APPROVED THIS ____ DAY OF _____, 20____, BY THE COMMUNITY DEVELOPMENT DIRECTOR OF THE CITY OF GREELEY, COLORADO.

COMMUNITY DEVELOPMENT DIRECTOR

CERTIFICATE OF APPROVAL BY THE
ENGINEERING DEVELOPMENT REVIEW AND
CIVIL INSPECTIONS MANAGER

Accepted by: _____ Date _____
Engineering Development Review
and Civil Inspections Manager

CERTIFICATE AND SEAL OF THE
REGISTERED LAND SURVEYOR

I, ROBERT D. THOMAS, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS MINOR SUBDIVISION WAS PREPARED BY ME, OR UNDER MY PERSONAL SUPERVISION, AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION THEREOF, BASED UPON MY KNOWLEDGE, INFORMATION AND BELIEF. I FURTHER CERTIFY THAT THE SURVEY AND THIS PLAT COMPLY WITH ALL APPLICABLE RULES, REGULATIONS, AND LAWS OF THE STATE OF COLORADO, STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS, AND THE CITY OF GREELEY, AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESS OR IMPLIED.

ROBERT D. THOMAS
COLORADO PROFESSIONAL LAND SURVEYOR #38353

OWNER/SUBDIVIDER: SHAN I, LLC
4720 WEST 105TH DRIVE
WESTMINSTER, COLORADO 80031

ENGINEER: ERIC WERNSMAN
WERNSMAN ENGINEERING AND LAND DEVELOPMENT, LLC
1011 42ND STREET, EVANS, COLORADO 80620

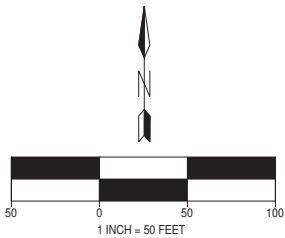
SURVEYOR: THOMAS LAND SURVEYING, LLC
2619 WEST 11TH ST, ROAD, SUITE 24
GREELEY, COLORADO 80634
970-304-0984

PAGE 1 OF 2
DATE: MAY 23, 2019
PROJECT: 1903.030
DRAWING: PLANS CAPES SUFFOLK 5TH FILING MINOR SUB

SUFFOLK MINOR SUBDIVISION
BEING A RESUBDIVISION OF LOT 1, SUFFOLK SUBDIVISION FIFTH FILING,
BEING PART OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 5 NORTH,
RANGE 66 WEST OF THE 6TH P.M., CITY OF GREELEY,
COUNTY OF WELD, STATE OF COLORADO

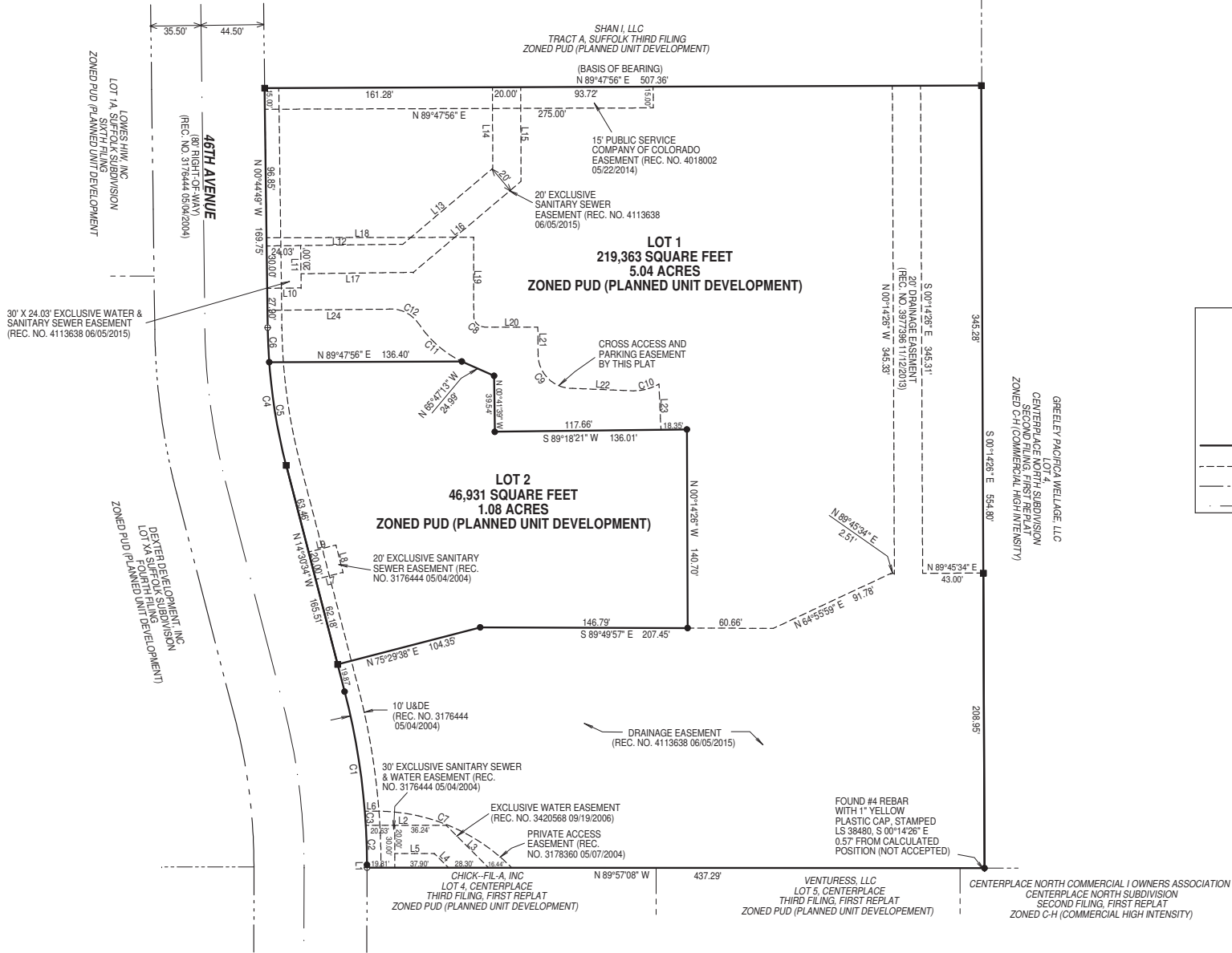
CURVE TABLE						
CURVE	DELTA	RADIUS	ARC LENGTH	CHORD	CHORD BEARING	
C1	14°30'51"	490.00'	124.13'	123.79'	N 07°17'51" W	
C2	03°17'23"	490.00'	28.13'	28.13'	N 01°41'07" W	
C3	01°17'00"	490.00'	9.98'	9.98'	N 03°54'49" W	
C4	13°46'21"	410.00'	98.55'	98.32'	N 07°39'31" W	
C5	10°21'40"	410.00'	74.14'	74.04'	N 09°17'51" W	
C6	03°24'41"	410.00'	24.41'	24.41'	N 02°24'41" W	
C7	45°17'31"	135.00'	106.72'	103.96'	N 67°21'17" W	
C8	90°23'16"	7.44'	11.74'	10.56'	S 49°20'43" E	
C9	93°19'34"	24.15'	39.34'	35.13'	S 44°33'42" E	
C10	28°59'22"	37.31'	18.88'	18.68'	N 75°14'04" E	
C11	30°47'52"	76.27'	41.00'	40.51'	N 48°49'35" W	
C12	57°23'56"	24.19'	24.23'	23.23'	N 63°22'47" W	

LINE TABLE		
LINE	BEARING	LENGTH
L1	N 00°00'50" W	1.87'
L2	S 89°57'08" W	57.07'
L3	S 44°59'10" E	42.39'
L4	N 44°59'10" W	14.10'
L5	N 89°57'08" W	27.98'
L6	S 90°00'00" W	8.01'
L7	N 75°29'26" W	20.00'
L8	N 14°30'34" W	20.00'
L9	S 75°29'26" W	20.00'
L10	N 89°15'30" E	24.03'
L11	N 00°44'30" W	30.00'
L12	N 89°15'30" E	96.41'
L13	N 49°46'45" E	83.32'
L14	N 00°12'04" W	57.36'
L15	S 00°12'04" E	66.67'
L16	S 49°46'45" W	99.82'
L17	S 89°15'30" W	79.56'
L18	N 89°52'29" E	146.52'
L19	S 00°09'46" E	56.29'
L20	N 90°00'00" E	37.80'
L21	S 00°35'45" E	18.27'
L22	S 67°41'19" E	42.89'
L23	S 02°31'52" E	32.37'
L24	S 89°26'08" W	86.34'



BASIS OF BEARING

THE NORTH LINE OF LOT 1, SUFFOLK SUBDIVISION, FIFTH FILING, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO, IS ASSUMED TO BEAR NORTH 89°47'56" EAST, AND IS MONUMENTED AS INDICATED.



LEGEND	
■	FOUND #4 REBAR WITH 1" ORANGE PLASTIC CAP, STAMPED LS 33642
⊕	FOUND 1" BRASS TAG WITH NAIL, STAMPED LS 33642
●	SET 24" #4 REBAR WITH 1" YELLOW PLASTIC CAP, STAMPED THOMAS PLS 38353
—	SUBJECT BOUNDARY
- - - - -	EASEMENT
- · - · -	RIGHT-OF-WAY
— · — · —	CENTERLINE

PLANNING COMMISSION SUMMARY

ITEM: Rezone from PUD (Planned Unit Development) to C-H (Commercial High Intensity)

FILE NUMBER: ZON2018-0005

PROJECT: 2600 36th Avenue – Gateway Self-Serve Storage Units Rezone

LOCATION: 2600 36th Avenue

APPLICANT: Jeff Engelman

CASE PLANNER: Darrell Gesick, Planner III

PLANNING COMMISSION HEARING DATE: September 10, 2019

PLANNING COMMISSION FUNCTION:

The Planning Commission shall consider the staff report, along with testimony and comments made by the applicant and the public and shall then make a recommendation to the City Council regarding the application in the form of a finding based on the review criteria in Section 18.30.050(c)(3).

EXECUTIVE SUMMARY

The City of Greeley is considering a request from Jeff Engelman, owner of Gateway Self-Serve Storage Units, to rezone approximately 5.50 acres of property, including adjacent right-of-way, located at 2600 36th Avenue, from PUD (Planned Unit Development) to C-H (Commercial High Intensity) (see Attachments A, B, C, and D).

A. REQUEST

The applicant is requesting approval of a rezone (see Attachment C).

B. STAFF RECOMMENDATION

Approval.

C. LOCATION

Abutting Zoning:

North: PUD (Planned Unit Development)

South: PUD

East: PUD

West: R-H (Residential High Density) and C-H (Commercial High Intensity)

Surrounding Land Uses:

North: Car Dealership
South: Highway 34 Bypass
East: Car Dealerships
West: Car Dealership and Multi-Family

Site Characteristics:

The subject site is currently developed with 19 self-serve storage units and one residential unit that also functions as a manager's office. The site consists of concrete drive aisles, wrought-iron fencing, and landscaping on the perimeter of the property (see Attachment E).

D. BACKGROUND

The subject site was annexed into the City of Greeley and zoned PUD, in 1978, as part of the Southwest Greeley Annexation No. 1 (File No. Z 2:78). In 1981, a conceptual PUD (File No. Z 9:81) was established for an area west of 35th Avenue, east of 47th Avenue, north of Highway 34 Bypass, and south of 24th Street. The primary uses called out for the PUD were for "Tech Industry" type uses. In 1982, a Final PUD was approved for oil and gas development on the entire PUD (File No. Z 8:82). When the property owner at that time did submit for the Final PUD for oil and gas development, they did so on the entire PUD instead of specific locations within the PUD. When this Final PUD was approved, it in effect, voided the previous concept PUD for "Tech Industry" uses on the site. When the applicant discovered this, another Conceptual PUD and Final PUD occurred to correct the error (File NO. Z 22:84). This Final PUD approved specific locations for oil and gas development, and the conceptual Plan called out land uses, such as commercial, high tech industrial, and multi-family on the balance of the property not approved for oil and gas development. This PUD was known as the Gateway Park PUD. Yet, another amendment occurred, in 1985, where some more uses were added to the overall PUD (File No. Z 23:85). Over time the Gateway PUD developed as called out in the conceptual PUD, has develop under new PUD's like Suffolk and Centerplace, or was rezoned to traditional zoning districts, such as, C-H, R-M, R-H, and C-L.

The subject site was approved for all uses allowed in the C-2 zone district, plus the following C-3 and C-4 uses: hotels and motels, theaters, convention halls, restaurants, bars, private and commercial recreation facilities, retail stores, and gasoline service stations. Storage uses were not included. In 1995, a combined amended Conceptual and Final PUD was proposed and approved by City Council to allow for self-serve storage units and a residential unit for an on-site manager (File No. PUD 4:95). The zoning classifications were changed, in 1998, when the Development Code was revised. The existing zoning of C-L (Commercial Low Intensity) is the modern equivalent to C-2 and C-H (Commercial High Intensity) is the equivalent to C-3 and C-4.

In 1999 and 2000, a portion of 36th Avenue right-of-way was vacated (File No. V 6:99 and V/D 7:00). The right-of-way was west of and adjacent to the southern portion of the subject site. The eastern half of the right-of-way was transferred to the property owner at 2600 36th Avenue and the western half of the right-of-way was transferred to the property owner at 2701 36th Avenue. The property owner at 2701 36th Avenue has since developed a car dealership, utilizing the area gained from the right-of-way vacation.

With this application, the property owner at 2600 36th Avenue would like to utilize the area that was gained from the vacation and rezone the subject site from PUD to C-H with the desire to build a 3,900-square-foot self-serve storage unit on the area that was vacated in 2000 (see Attachment F). Under the current Development Code, in order for the City to consider a proposed PUD amendment for the subject site, the applicant is required to provide written approval of the proposed amendment from 100% of the property owners within the PUD to the City. PUD's are viewed as a contract between all property owners within the PUD area. If the applicant is unable to acquire such approvals, the applicant would not be able to submit the application and would not be able to maximize the full development potential for the site. The applicant attempted to acquire the necessary signatures and was unable to obtain them. The proposed rezone of the property from PUD to C-H would avoid timeliness issues associated with amending the PUD and avoid having to acquire the necessary owner approvals. The applicant would like to rezone the site to C-H, which would allow the site to be development under Development Code standards for the C-H zone district. This would allow the applicant to get approvals administratively from the City for the additional building, rather than getting permission from adjacent owners and having to go through a public hearing process.

Under the current Development Code Standards, the subject use would be required to obtain approvals through the Use by Special Review (USR) process if the site was currently zoned C-H. Since the site was approved under a different process, a Final PUD in this case, the existing use would be considered a procedurally conforming site if the rezone is approved. For example, a use which requires USR approval would be considered conforming if it existed prior to the effective date of the Development Code and is in conformance in all other respects, only lacking the benefit of an otherwise required review process. This would mean that the existing use would not have to have USR approval to continue and the proposed additional building that the applicant is requesting would follow the USR standards, if the rezone is approved.

With the proposed rezone request, a minor USR Amendment has been submitted for the additional storage unit (USR2018-0019) and is being reviewed concurrently with this proposed rezone. The requested USR Amendment would be reviewed and approved administratively and would only be approved if the rezoning is approved.

APPROVAL CRITERIA

Development Code Section 18.30.050 Rezoning Procedures

For the purpose of establishing and maintaining sound, stable, and desirable development within the City, the rezoning of land is to be discouraged and allowed only under circumstances provided for in this Section [of the Code]. This policy is based on the opinion of the City Council that the City's zoning map is a result of a detailed and comprehensive appraisal of the City's present and future needs regarding land use allocation and other zoning considerations, and, as such, should not be amended unless to correct manifest errors or because of changed or changing conditions in a particular area of the City in general.

The review criteria found in Section 18.30.050(c)(3) of the Development Code shall be used to evaluate the zoning amendment application.

- a) **Has the area changed, or is it changing to such a degree that it is in the public interest to rezone the subject property to encourage development or redevelopment of the area?**

Staff Comment: Over the years several properties within the Gateway PUD have been rezoned from PUD to traditional zone districts such as C-H, R-M, R-H, and C-L. West of and adjacent to the subject site, the area was rezoned to R-H, which allowed the property owner the ability to develop the site with multi-family units. In 2014, a portion of that property was subdivided and rezoned to C-H, and developed with a car dealership. Further to the northwest of the subject site, approximately 55 acres of land was rezoned from PUD to C-H, R-H, R-M, and C-L. This area has developed with restaurants, medical, office, assisted living, and townhomes, with some land still left to develop.

The rezone is not necessarily needed to encourage development or redevelopment in the area. The subject site has been developed as called out in the original PUD and subsequent amendments. However, the applicant would need to gain approval of 100% of the property owners within the portion of the PUD that the subject site is located within for the additional building that the applicant wishes to build. If the applicant is unable to acquire such approvals, the applicant would not be able to maximize the full development potential for the site. In this case, the applicant tried to obtain the necessary signatures and was unable to do so and does not believe that they would be able to gain 100% approval of the adjacent owners anytime in the near future. The applicant would like to rezone the site to C-H, which would allow the site to be developed under the Development Code standards for the C-H zone. This would allow the applicant to get approvals administratively for the additional building, rather than getting permission from adjacent owners and having to go through a public hearing process.

Leaving the property in the PUD zone district could limit the opportunity for the applicant to add the additional storage building if the applicant is not able to acquire the necessary approvals from adjacent property owners within the PUD. Planning staff concludes that it is in the public's interest to rezone the subject property to a more traditional zone district, allowing the potential for a more efficient development option for the property owner.

This request complies with this criterion.

- b) Has the existing zoning been in place for at least fifteen (15) years without substantial development resulting and does the existing zoning appear to be obsolete, given development trends?**

Staff Comment: The subject property has been zoned PUD since 1995, a total of 24 years. Until a portion of 36th Avenue was vacated and given to the subject property owner, there was no potential for additional development on the subject site. Since obtaining the additional land, the applicant has the potential to add one additional self-serve storage building to the subject site. Although the existing zoning is not necessarily obsolete, the proposed C-H zone district would avoid timeliness issues associated with amending the PUD and would avoid having to acquire the necessary adjacent property owner approvals.

Development trends over the last several years have shown a demand for self-serve storage units. The applicant believes that the additional storage building would allow the business to stay competitive with other newer facilities in the community.

This request complies with this criterion.

- c) Are there clerical or technical errors to correct?**

Staff Comment: There are no clerical or technical errors to correct.

This criterion is not applicable to this request.

- d) Are there detrimental environmental impacts, such as flood plains, inadequate drainage, slopes, unstable soils, etc., that may affect future development of this site and which may not have been considered during the original zoning of the property?**

Staff Comment: There are no known detrimental environmental conditions existing on the site.

This criterion is not applicable to this request.

- e) Is the proposed rezoning necessary in order to provide land for a community related use which was not anticipated at the time of adoption of the City's Comprehensive Plan; or have the policies of the City changed to the extent that a rezoning is warranted?**

Staff Comment: The proposed rezoning is not necessary in order to provide land for a community related use.

This criterion is not applicable to this request.

- f) What is the potential impact of the proposed rezoning upon the immediate neighborhood and the city as a whole (including potential noise and environmental impacts, visual impacts, the provision of City services such as police, fire, water, sewer, and pedestrian systems and parks and recreational facilities)?**

Staff Comment: It is not anticipated that the proposed C-H zoning would create significant impacts on the subject property, adjacent land uses, or the City as a whole. The proposed rezoning does not significantly vary from the current allowed zoning.

Any potential noise created by future development would be regulated by the Municipal Code. There should not be any environmental impacts associated with this request. The appropriate buffering would be required to be provided, which lessens any potential visual impacts to adjacent uses. City services such as water, sewer, police, and fire are already available to the site. Sidewalks exist along the west side of the property. The applicant's current plans for the property should not increase the intensity of its current use in a negative manor; and, therefore, should not negatively impact the neighborhood. If the property were rezoned, plans for the additional self-serve storage unit would be reviewed by staff for compliance with Development Code criteria. Additional information regarding City services can be found further in this report in Sections E, F, and G.

The proposal complies with this criterion.

- g) Is there clear and convincing evidence that the proposed rezoning will be consistent with the policies and goals of the City's Comprehensive Plan and comply with the applicable zoning overlay requirements?**

The following City of Greeley Imagine Greeley Comprehensive Plan policies apply to this request:

Comprehensive Plan Policy Objective ED-2.4, Business Attraction

Attract and retain business and industry that align with the City's target industries and support economic diversity.

Staff Comment: The proposed rezone, as submitted, would allow a local business to expand, which may positively impact the success of the business. The proposed use would also support economic diversity in the area, currently there are no other storage units within the immediate area.

This request complies with this Comprehensive Plan policy.

Comprehensive Plan Policy Objective GC-6.3, Neighborhood Character

Maintain, enhance, and protect the character of established neighborhoods while recognizing the need for established neighborhoods to evolve to meet city needs.

Staff Comment: The proposed rezone should not impact the character of the established neighborhood. The site is already existing and the proposed storage building that the applicant wishes to build would be built to be compatible with the existing storage buildings on the site in relation to color, size, and materials.

The proposal complies with this criterion.

h) What is the potential impact of the proposed rezoning upon an approved Zoning Suitability Plan for the property?

Staff Summary: The proposed Zoning Suitability Plan submitted with this application demonstrates on a conceptual level that the site should be able to develop in accordance with the Development Code (see Attachment F).

This criterion is not applicable to this request.

E. PHYSICAL SITE CHARACTERISTICS

1. SUBDIVISION HISTORY

The subject property is known as Lots 6, 7, and 8 of Block 1, Gateway Park Filing No. 3 – First Replat (Rec. no. 02237135, File No. S 7:90).

2. HAZARDS

Staff is unaware of any potential hazards that presently exist on the site.

3. WILDLIFE

The subject site is not located in an area identified for moderate or high wildlife impacts. There are no known impacts that would occur to wildlife if the site is rezoned.

4. FLOODPLAIN

The proposed rezone boundary is not located within the 100-year floodplain or floodway, according to the adopted Federal Emergency Management Administration (FEMA) flood data.

5. DRAINAGE AND EROSION

The existing drainage patterns are expected to continue to follow the existing lay of the land. Current, historic drainage patterns on the subject property has drained from the south to the north. The subject site currently has internal drive aisles that have been designed to direct flow away from the storage units and direct water to an existing detention pond north of the subject site. The proposed storage building impacts are minor and do not dramatically disturb current drainage conditions. The imperviousness added to the site required a concrete lined trickle channel to be added to the swale along the west side of the property.

6. TRANSPORTATION

The proposed rezone should not negatively impact the traffic flow in the area. It is anticipated that there would be an incremental increase in traffic of about 3% of the current total traffic generated by this use. Typical trips generated for the subject site are approximately 130 trips per day. It is anticipated that 134 trips per day would occur with the proposed new storage unit. A Traffic Impact Memo was submitted, reviewed, and evaluated by the City of Greeley Engineering Development Review Department, and no additional impacts are anticipated to be generated by the proposed rezone.

F. SERVICES

1. WATER

An existing 8" waterline is located on the western part of the subject site and is currently being utilized by the applicant. No additional improvements to the water service is required as part of the rezone or the minor USR amendment.

2. SANITATION

There is an existing sanitary sewer line located on the western part of the subject site and is currently being utilized by the applicant. No additional improvements to the sanitary sewer service are required as part of the rezone or the minor USR amendment.

3. EMERGENCY SERVICES

The subject site is serviced by the City of Greeley Fire and Police. The closest fire stations, Fire Station #5 and #2, are located approximately one mile from the subject site.

4. PARKS/OPEN SPACES

No public parks or additional public open space areas are proposed with this request and the request would not be creating any private parks or open space. The proposed rezone should have little to no impact on parks or open space in the community.

5. SCHOOLS

No schools are proposed or located within the site. However, the nearest school, Greeley West High School, is located approximately one-half mile to north of the subject site.

G. NEIGHBORHOOD IMPACTS

1. VISUAL

No visual impacts are anticipated with this rezone request. Any development plan application for the property would be reviewed for compliance with the City's Development Code requirements regarding visual impacts.

2. NOISE

No noise impacts are anticipated with the rezone request. Any potential noise created by future development will be regulated by the Municipal Code.

H. PUBLIC NOTICE AND COMMENT

Neighborhood notices were mailed to surrounding property owners on August 22, 2019, per Development Code requirements. A sign was posted on the site on August 23, 2019. No comments have been received.

I. MINERAL ESTATE OWNER NOTIFICATION

Mineral notice is not required for a rezone request.

J. PLANNING COMMISSION RECOMMENDED MOTION

Based on the application received and the Project Summary and accompanying analysis, the Planning Commission find that the proposed rezone from PUD (Planned Unit Development) to C-H (Commercial High Intensity) meets the applicable Development Code criteria, Sections 18.30.050(c)(3) a, b, f, g, and h; and, therefore, recommend approval of the rezone to the City Council.

ATTACHMENTS

Attachment A – Zoning/Vicinity Map

Attachment B – Photo Aerial

Attachment C – Narrative

Attachment D – Property Rezone Boundary Map

Attachment E – Site Analysis Map

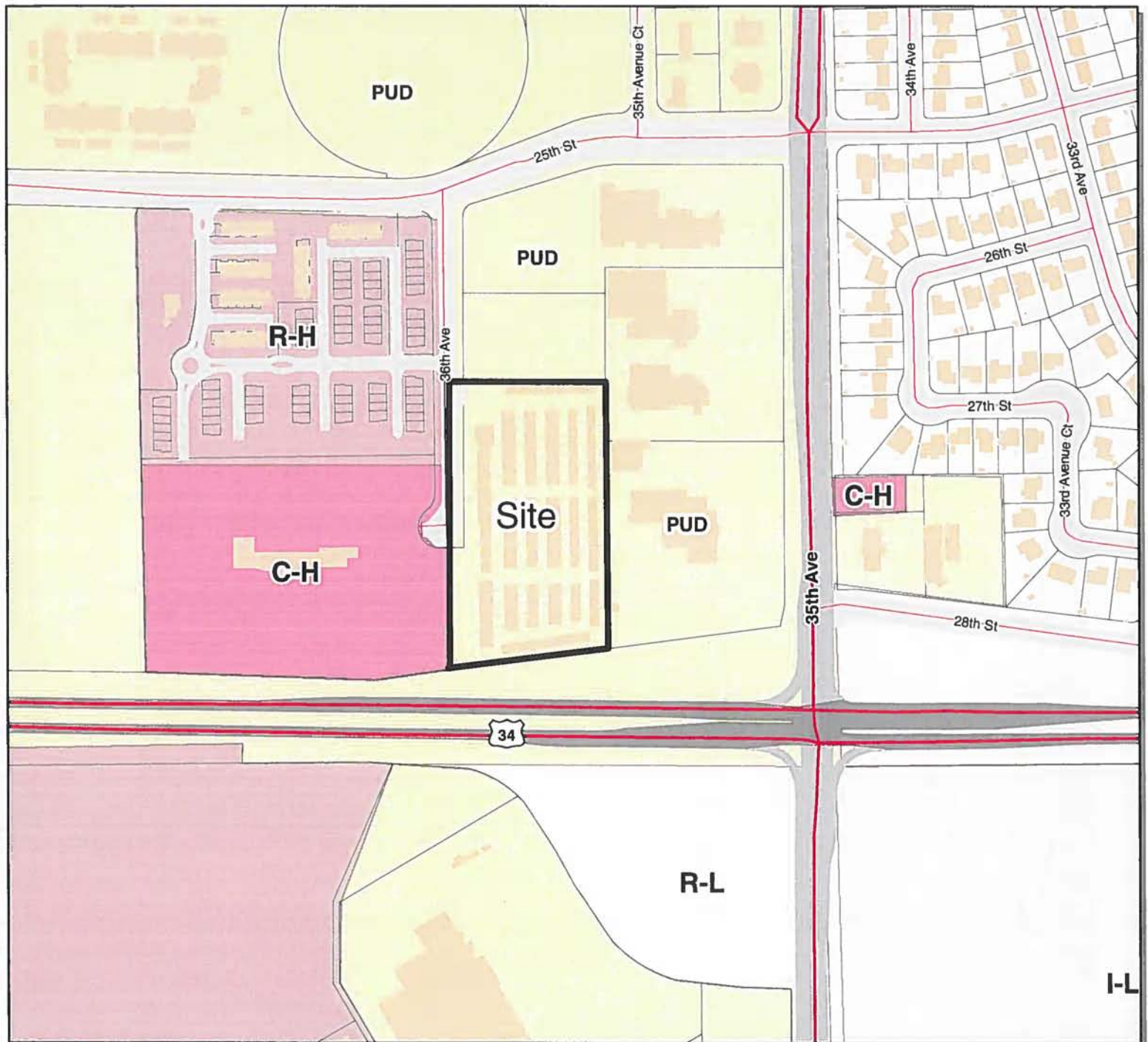
Attachment F – Zoning Suitability Map








Attachment G – Notification Boundary Map

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Zoning/Vicinity Map

2600 36th Avenue - Gateway Self-Storage



Legend	
StreetCenterlines	
CLASSIFICATION	
	Expressway
	Arterials
	Local, Collectors
	Unknown
	City Limits
	Building
	Weld Parcels

ZON2018-0005

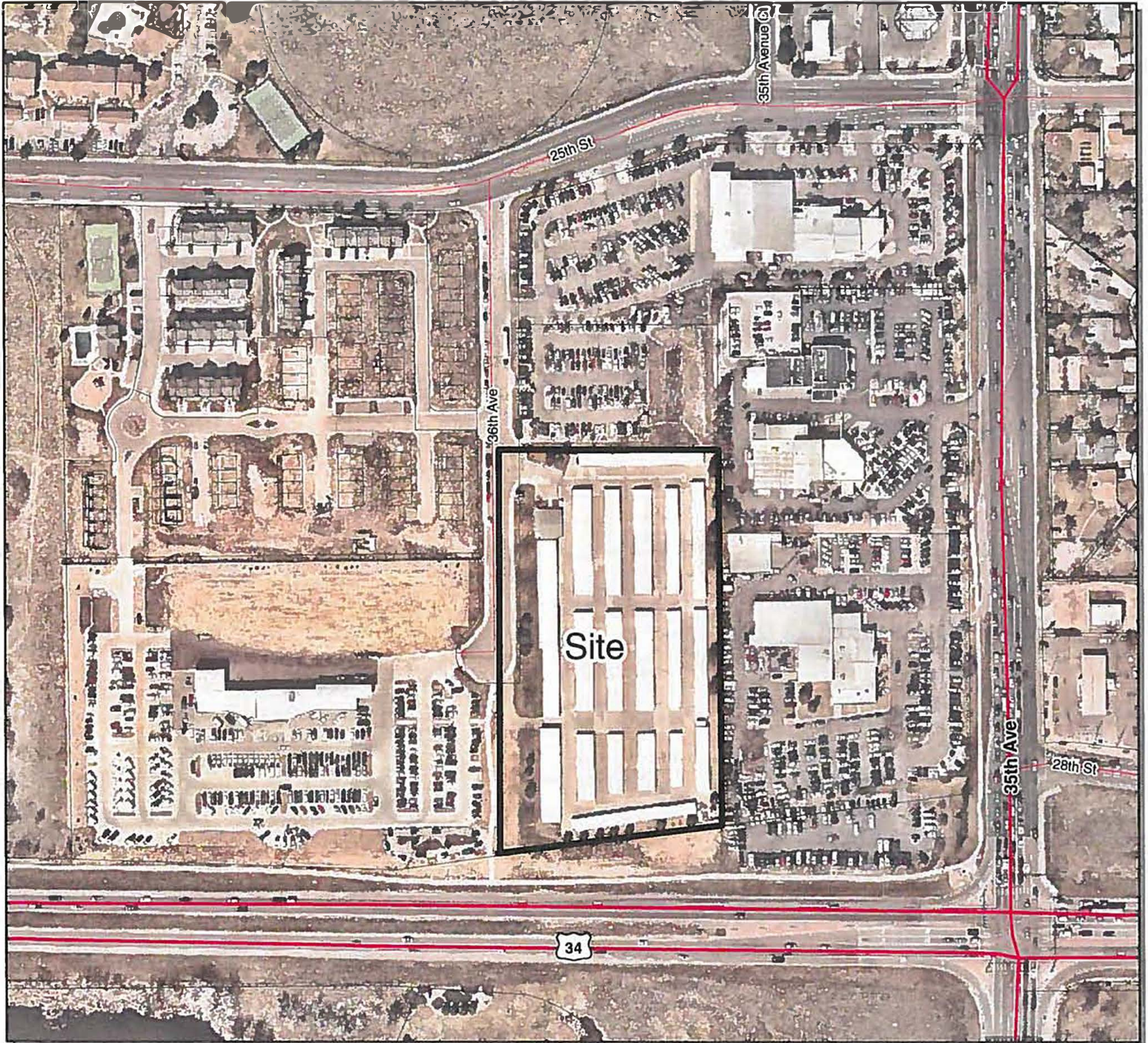
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Zoning/Vicinity Map

2600 36th Avenue - Gateway Self-Storage



Legend

Street Centerlines

CLASSIFICATION

- Expressway
- Arterials
- Local, Collectors
- Unknown
- City Limits
- Weld Parcels
- Origin Cache Map

ZON2018-0005

0 250 500 Feet



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October 16, 2018

***Gateway Self Storage
Rezoning – Project Narrative***



Introduction

Gateway Self Storage is an existing development located north of State Highway 34 and east of 36th Ave. in Greeley. It is bordered on the north by a parking lot, on the east by Ghent Chevrolet Auto Dealership and Nissan/VW Auto Dealership, and on the west by John Elway Auto Dealership. The site is accessed from 36th Ave. Recently, a portion of 36th Ave was vacated, from which a 30' of Right of Way was added to the Gateway Property. The owner wishes to develop this additional property to include a 4,125 square foot storage building. His intent is to build a new standard storage unit building so that he can move materials from an existing building into the new building for the purpose of converting an existing building into a climate-control building in the future. This will allow his business keep up with current market demands for climate controlled rental units.

The subject property is a portion of the Majors Self Storage Unit Planned Unit Development that was approved in 1995. Since approval, portions of the property were developed as planned, while portions were sold to neighboring property owners: Ghent Chevrolet, and Elway. The owner of the remaining property wishes to re-zone the remaining property from PUD to C-H, Commercial High Intensity, to allow expansion of his business in compliance with the C-H Zoning Code rather than in compliance with the PUD.

Previously, this applicant submitted a change of zone request with the intent to build a new office, ADA accessible public restrooms, and rental units that would be accessed from a central corridor and would be heated in the winter and cooled in the summer. However, this alternative proved to be prohibitive due to infrastructure constraints. This re-submittal eliminates the need to remove a portion of mature landscape treatments to extend sewer and water utilities to the new building. There is no need or requirement for additional parking spaces, and setbacks can be respected with the revised plan.

This change of zone request is accompanied by a full Use By Special Review application. The USR plans provide a complete development scheme for the subject property. The owner reports that the property currently has difficulties with drainage during major storm events. The USR plans document existing spot elevations that prove stormwater enters the site from 36th Ave. and discharges into the stormwater detention pond located adjacent to the site, rather than downstream into a regional pond as intended. The proposed grading plan will effectively correct this by re-building the entry drive, thus directing off-site drainage past the entry drive and will not continue to inundate the existing system on the Gateway site. A drainage report is provided to document this finding and calculate new and existing on-site storm water volumes.

Pedestrian access, Circulation and Connectivity:

The Gateway Self Storage site is located on the north side of State Highway 34, and east of 36th Avenue. Facility access is from 36th Ave., an improved cul-de-sac that serves the subject property and the John Elway dealership to the west. 36th Ave is an improved local roadway section. The facility currently has approximately 77,100 square feet in storage space within 19 buildings. A small manager residence and office provides an additional 1,735 square feet. There are no more

Corporate Headquarters
112 N Rubey Drive, Suite 210
Golden, Colorado 80403
Ph 303.940.9966
Fax 303.940.9959

Rocky Mountains
1169 Hilltop Pkwy, Suite 204, PO Box 770152
Steamboat Springs, Colorado 80477
Ph 970.879.1825
Fax 303.940.9959

Northern Colorado
4007 S Lincoln Avenue, Suite 405
Loveland, Colorado 80537
Ph 970.353.7600
Fax 866.679.4864

than 2 employees at the site at any given time. The site is accessed by vehicles at two locations along the west property line from 36th Ave. There is an existing pedestrian sidewalk within the 36th Ave. ROW. The site itself is fully fenced for security purposes.

Review Criteria

The following criteria shall be used to evaluate a rezoning request:

1. Has the area changed, or is it changing to such a degree that is in the public interest to rezone the subject property to encourage development or redevelopment of the area?

The immediate area has seen changes with the recent development of the Elway dealership. The Elway dealership effectively changed the zone from PUD to C-H Zoning for a car dealership use in place of planned multi-family development. The vacation of a portion of 36th Ave. also occurred since the original PUD was approved. This provides an opportunity to expand the Storage Business to include climate-controlled storage units, which are needed to remain competitive with the Self-Storage business model.

The change in the area does not, by itself, justify the expansion of the business, but the changes allow an opportunity for this business to respond to changing market demands for more sophisticated self-storage options. It is in the public interest to allow a business in this urban setting to respond to changing market demands rather than letting the business decline while competitors outside of the City Limits grow by attracting potential would-be Gateway customers. It is unknown how much the planned multi-family development, had it continued, would have supported the Gateway business.

2. Has the existing zoning been in place for at least fifteen (15) years without substantial development resulting, and does the existing zoning appear to be obsolete, given development trends?

The existing PUD zoning has been in place since 1995, which was 23 years ago. The PUD plan that was approved at the time demonstrated the Gateway Storage business would be adjacent to an open tract (Lot 5), the full 36th Ave. Right of Way, and adjacent to the Longview Townhomes. Lot 5 is now developed as a parking lot, and half of the planned Longview Townhomes property was re-zoned to allow for the Elway Dealership. Portions of 36th Ave was vacated, leaving an opportunity for Gateway to expand the business. This activity renders the original PUD obsolete.

3. Are there clerical or technical errors to correct? *There are no clerical or technical errors.*
4. Are there detrimental environmental impacts, such as flood plains, presence of irrigation ditches, inadequate drainage, slopes, unstable soils, etc., that may affect future development of this site and which may not have been considered during the original zoning of the property?

Drainage impacts were not adequately evaluated with the PUD approval, and subsequent approval of the Elway Dealership. The Gateway property owner has experienced ponding and collection of storm water on his property with the development of adjacent uses – particularly the Elway Dealership on the west. The property owner has made improvements to the site to improve drainage conditions on his property that have proven to help with the problem, but not relieve the conditions completely. The property owner reports that drainage impacts became much worse with the development of the Elway Dealership. In fact, field survey of existing conditions demonstrate that storm water enters the Gateway property from the Elway site at the entry drive, rather than passing the entry to continue downstream as projected. The drainage issues will not be satisfied by a rezone and in fact, they can be resolved without a rezone. However, a rezone will allow the Gateway owner to make additional improvements with the approval of this rezone request and associated Site Development Plan (USR) for the planned new building. The Gateway owner wishes to re-build his entry drive at the same time as the new construction of the additional building. There is a cost savings in doing the two construction projects at the same time, under the same engineering, plan review, and permitting activities.

5. Is the proposed rezoning necessary in order to provide land for a community-related use which was not anticipated at the time of adoption of the City's Comprehensive Plan, or have the policies of the City changed to the extent that a rezoning is warranted?

The rezone will allow for reasonable expansion of the business – to respond to recent market demands, and can be accomplished in compliance with the City Zoning Code. At the time the PUD was approved, there was a single owner of the entire PUD plan. Today, portions of the PUD have been sold – any amendments to the PUD plan would require approval by neighboring landowners who are also within the PUD. Approval has been attempted, but agreement by all parties has been unsuccessful-not because the neighboring properties object to the proposed improvements, but because the neighboring property owners have requested access into the Gateway development in return. Access through the Gateway business can not occur for security reasons.

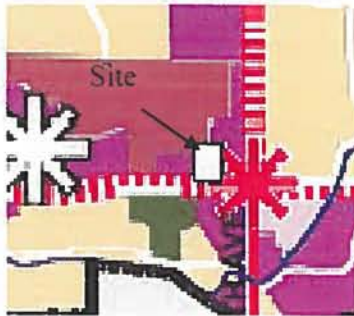
The Greeley zoning code for C-H zoning is actually more restrictive in terms of setbacks and open space calculations than the PUD is. Expansion of this business under the straight zoning code appears to be the most reasonable approach.

It appears City policies for requiring all landowners within a PUD to approve of a PUD amendment has changed, as evidenced in recent approval of development of the neighboring property without full concurrence from all property owners. This may have been an oversight, but it has occurred none the less. The ability for private landowners to place unreasonable conditions on joint approval should be changed if it hasn't already.

6. What is the potential impact of the proposed rezoning upon the immediate neighborhood and the City as a whole (including potential noise and environmental impacts, visual impacts, the provision of the City services such as police, fire, water, sewer, streets and pedestrian systems and parks and recreational facilities?

The rezoning of the property will have no impact upon the immediate neighborhood as it relates to noise, environmental impacts and provision of City services. The construction of a new building will change the visual quality adjacent to the Elway dealership, but not in a negative way. Planned architectural features and landscape treatments will improve the overall visual quality of the immediate area.

7. Is there clear and convincing evidence that the proposed rezoning will be consistent with the policies and goals of the City's Comprehensive Plan and comply with any applicable zoning overlay requirements?



The site is situated in an area designated as "Employment, Industrial and Commercial Areas" in the Imagine Greeley Land Use Guidance Map. The proposed change of zone, which is consistent with the previous zoning district (PUD), will allow for increase service by an existing business to an existing neighborhood in Greeley.

The plan further describes Goals and Objectives regarding Growth and City Form (GC) as it relates to infill development. Specifically, with the goal towards reduced land consumption and costs of providing public infrastructure and services. The change of zone will not deviate from the intent of the Comprehensive Plan or the overall land use as was established in the PUD zoning district. The previous zoning designation (PUD) and proposed rezone to C-H have identical land use objectives. The change of zone will allow for increased intensity of an existing use and will not negatively affect the established neighborhoods in the immediate area.

"Special Considerations: In established neighborhoods, infill and redevelopment should be consistent with the character of the existing neighborhood and respect the scale and mass of surrounding buildings. Where needed or desired by residents, design guidelines, design standards, and other development regulations should be considered as tools to preserve neighborhood character (while still allowing for the diversification of housing types and reinvestment). " (Imagine Greeley, pp 101)

The development that will occur as a result of the rezone will be consistent with the original intent for the property and is compatible with adjacent uses.

8. What is the potential impact of the proposed rezoning upon an approved zoning suitability plan for the property?

There is no existing Zoning Suitability Plan for the subject site. A Zoning Suitability Plan is provided for the change of zone application, including the required components. The new Zoning Suitability Map shows property boundary, location and acreage for the existing commercial uses and square footage, existing roadways and accesses, drainage patterns and existing detention pond, proposed and existing open space and trail in conformance with the Greeley Municipal Code 18.16.060. There are

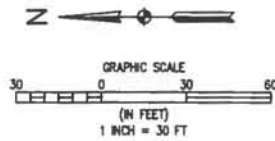
no existing residential uses or oil and gas facilities within or adjacent to the area. The proposed rezoning will support expansion of the existing commercial use on the property without impact to approved (PUD) development on the property. The required elements of the requested zoning can be met if the rezoning is approved, including the following:

- a. Self-Storage is a permitted use in the C-H Zoning District with a Design review.*
 - b. The Use will require a Special Review application, due to the size of the property (greater than 5-acres).*
 - c. Hours of operation for the Office is Monday through Friday, 8:30 AM to 5:30 PM, Saturdays from 8:30 AM to 2:30 PM. There is 24-hour gate access. A security service patrols the facility nightly.*
 - d. Open Space: 20% of site or Option 16 (approved public art, Section 18.38.100)*
 - e. Existing Sidewalk is 5' wide attached on both sides of 36th Ave.*
 - f. Adequate parking – per 18.42*
 - g. Landscape, Buffering and Perimeter Treatments can be accomplished*
 - h. Maximum lot coverage is 80%*
 - i. Building Structure setbacks for the new building will be 25' for sides adjacent to streets. (Note, an existing building is 15' from the property line adjacent to State Highway 34, which would not be in compliance with the requirements for the requested zoning code.)*
9. If the proposed rezoning is for placing the property within the H-A, Holding Agricultural District, the following criteria shall be considered in the evolution of the proposed zoning amendment:
- The proposed rezoning is not H-A.*
10. If the proposed rezoning is for placing property with the C-D conservation District, the following criteria shall be considered in the evaluation of the proposed zoning amendment: *The proposed rezoning is not within C-D conservation District.*

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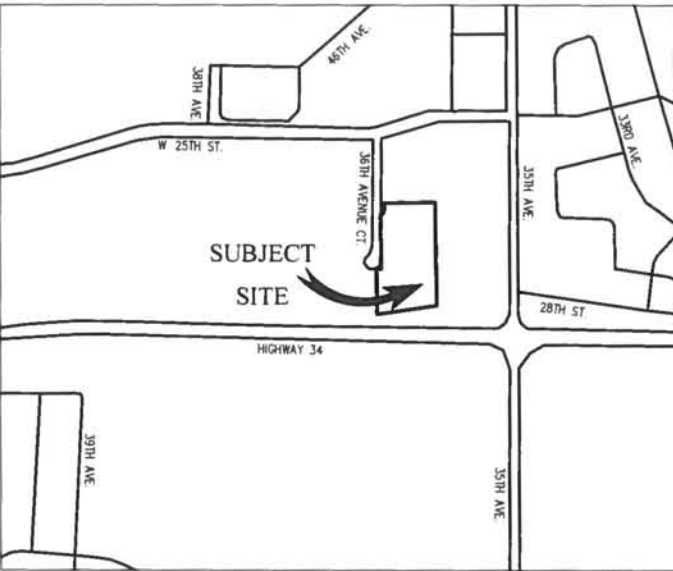
GATEWAY SELF STORAGE PROPERTY BOUNDARY MAP

LOCATED IN THE SE 1/4, SECTION 14, TOWNSHIP 5 NORTH, RANGE 65 WEST
OF THE 6th PRINCIPAL MERIDIAN
CITY OF GREELEY, WELD COUNTY, COLORADO



LEGEND

- FOUND MONUMENT AS DESCRIBED
- SUBJECT BOUNDARY
- EASEMENT LINE
- PROPERTY LINE



VICINITY MAP

SCALE: 1"=1000'

ZONING DESCRIPTION:

LOTS 6, 7 AND 8, BLOCK 1, GATEWAY PARK FILING NO. 3, FIRST REPLAT, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO, TOGETHER WITH THE EAST HALF OF VACATED 36TH AVENUE ADJACENT THERETO AS DESCRIBED IN ORDINANCE NO. 51, 2000, CASE NO. V/D 700 RECORDED OCTOBER 20, 2000 AT RECEPTION NO. 2801682, AND THAT PORTION DEDICATED AS A PART OF 36TH AVENUE AS SHOWN ON 36TH AVENUE - STREET DEDICATION MAP RECORDED MARCH 5, 1995 AT RECEPTION NO. 2479404, COUNTY OF WELD, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: ASSUMING THE EAST LINE OF LOTS 6, 7 AND 8, BLOCK 1, GATEWAY PARK FILING NO. 3 FIRST REPLAT, AS MONUMENTED BY A NO. 5 REBAR WITH A 1 INCH PLASTIC CAP STAMPED PLS 27269 AT THE NORTHEAST CORNER OF SAID LOT 6 AND A NO. 5 REBAR WITH A 1 INCH PLASTIC CAP STAMPED PLS 7242 AT THE SOUTHEAST CORNER OF SAID LOT 8 TO BEAR SOUTH 00°46'32" EAST, BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2007, A DISTANCE OF 629.86 FEET WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 6; THENCE ALONG THE EAST LINE OF SAID LOTS 6, 7 AND 8 SOUTH 00°46'32" EAST A DISTANCE OF 629.86 FEET TO THE SOUTHWEST CORNER OF SAID LOT 8; THENCE ALONG THE SOUTH LINE OF SAID LOT 8 SOUTH 89°14'40" WEST A DISTANCE OF 369.30 FEET TO THE SOUTHWEST CORNER OF SAID VACATED 36TH AVENUE; THENCE ALONG THE WEST LINE OF SAID VACATED 36TH AVENUE EXTENDED NORTH 00°45'50" WEST A DISTANCE OF 677.80 FEET TO THE EXTENDED NORTHERLY LINE OF SAID LOT 6; THENCE ALONG THE EXTENDED AND NORTHERLY LINE OF SAID LOT 6, NORTH 89°14'40" EAST A DISTANCE OF 366.05 FEET TO THE POINT OF BEGINNING CONTAINING 239,380 SQ. FT. OR 5.50 ACRES MORE OR LESS.

GENERAL NOTES:

1. BASIS OF BEARINGS: ASSUMING THE EAST LINE OF LOTS 6, 7 AND 8, BLOCK 1, GATEWAY PARK FILING NO. 3 FIRST REPLAT, AS MONUMENTED BY A NO. 5 REBAR WITH A 1 INCH ALUMINUM CAP STAMPED PLS 27269 AT THE NORTHEAST CORNER OF SAID LOT 6 AND A NO. 5 REBAR WITH A 1 INCH ALUMINUM CAP STAMPED PLS 7242 AT THE SOUTHEAST CORNER OF SAID LOT 8 TO BEAR SOUTH 00°46'32" EAST, BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2007, A DISTANCE OF 629.86 FEET WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.
2. FLOOD PLAIN NOTE: THE ENTIRETY OF THE SUBJECT PROPERTY FALLS WITHIN FLOOD ZONE X (UNSHADED) AREAS OF MINIMAL FLOODING, AS DELINEATED ON FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08123C1540E (NO MAP PRINTED).
3. THIS ESTABLISHMENT OF ZONING PLAT WAS PREPARED BY AARON ALVIN DEMO, PLS 38285, FOR AND ON BEHALF OF BASELINE CORPORATION, 4007 S LINCOLN AVENUE, LOVELAND, CO 80537

SURVEYOR'S STATEMENT:

I, AARON A. DEMO, A COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY STATE THAT THIS REZONING MAP WAS PREPARED UNDER MY PERSONAL SUPERVISION AND CHECKING, AND THAT THE FOREGOING MAP IS AN ACCURATE REPRESENTATION THEREOF, ALL THIS TO THE BEST OF MY KNOWLEDGE, INFORMATION, BELIEF AND IN MY PROFESSIONAL KNOWLEDGE.

AARON A. DEMO - ON BEHALF OF BASELINE ENGINEERING CORP.
COLORADO REGISTERED PROFESSIONAL
LAND SURVEYOR #38285

BASELINE
Engineering - Planning - Surveying

4007 S LINCOLN AVENUE, SUITE 405 • LOVELAND, COLORADO 80537
P: 970.532.7200 • F: 970.532.7201 • www.baselinecorp.com

DESIGNED BY JFS
DRAWN BY JFS
CHECKED BY DF

DATE
PREPARED BY

REVISION DESCRIPTION

DATE

DATE

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WELD COUNTY

1970 CORP
GATEWAY SELF STORAGE
2600 36TH AVE.
PROPERTY BOUNDARY MAP

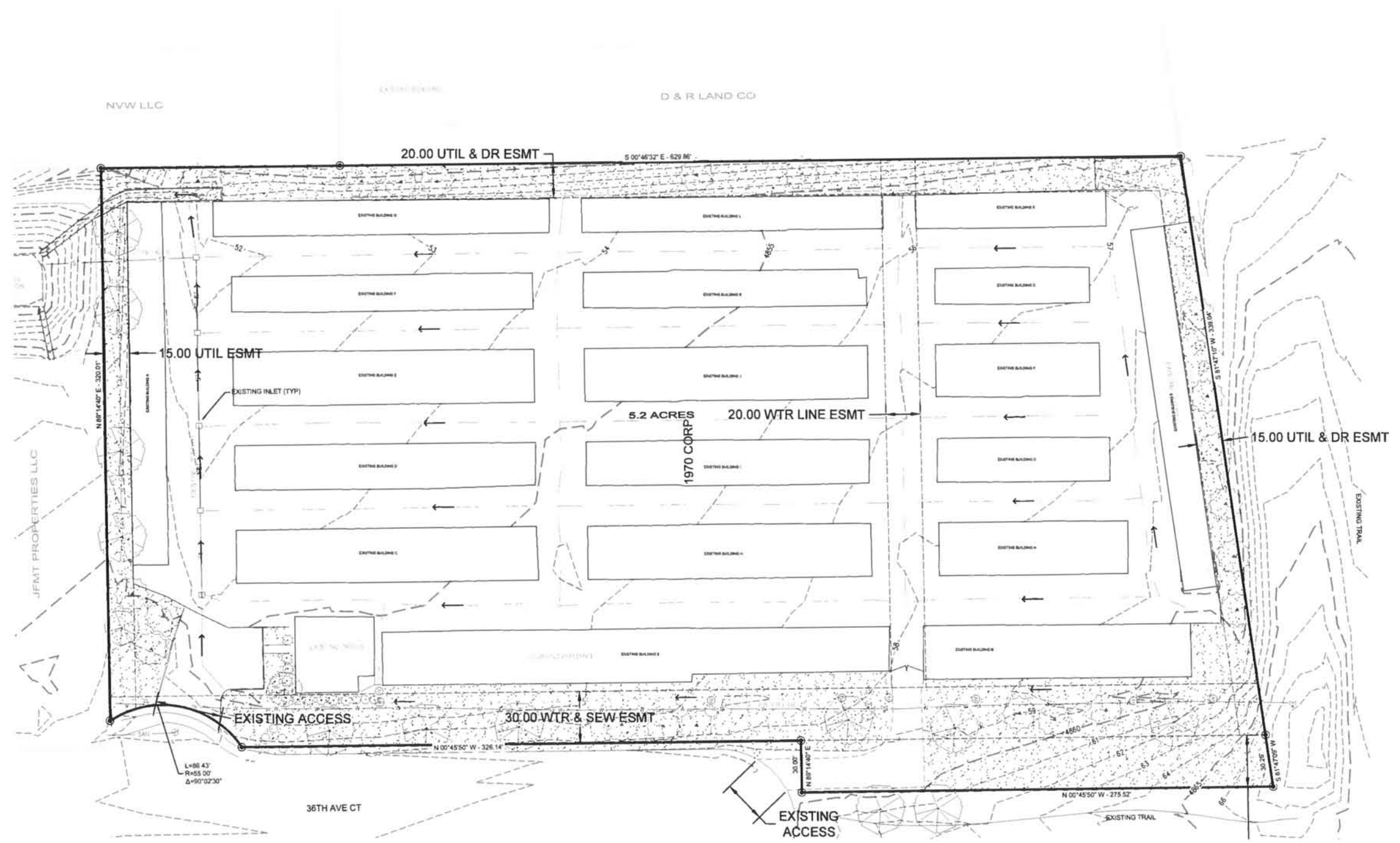
CITY OF GREELEY

PREPARED UNDER THE DIRECT SUPERVISION OF

FOR AND ON BEHALF OF
BASELINE CORPORATION
INITIAL SUBMITTAL 8/20/2018
DRAWING SIZE 24" X 36"
SURVEY FIRM SURVEY DATE
BASELINE 07/30/2018
JOB NO. C0377
DRAWING NAME
377- ESTABLISHMENT OF ZONING
SHEET 1 OF 1

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SITE ANALYSIS MAP
GATEWAY SELF STORAGE



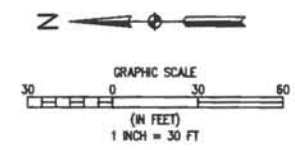
LEGEND

EXISTING LINETYPES	PROPOSED LINETYPES	
---	---	MAJOR CONTOUR (5' INTERVAL)
---	---	MINOR CONTOUR (1' INTERVAL)
---	---	W
---	---	STORM SEWER
---	---	GAS
---	---	SANITARY SEWER MAIN
---	---	EDGE OF ASPHALT
---	---	CHAINLINK FENCE
---	---	WIRE FENCE
---	---	EASEMENT
---	---	PROPERTY BOUNDARY

EXISTING SYMBOLS	PROPOSED SYMBOLS	
⦿	⦿	FIRE HYDRANT
⦿	⦿	WATER VALVE
⦿	⦿	WATER METER
⦿	⦿	DECIDUOUS TREE
⦿	⦿	CONIFEROUS TREE
⦿	⦿	CONIFEROUS SHRUB
⦿	⦿	DECIDUOUS SHRUB
⦿	⦿	NATURAL DRAINAGE PATTERNS
⦿	⦿	EXISTING LANDSCAPE AREA

LEGAL DESCRIPTION

LOTS 6, 7 AND 8, BLOCK 1, GATEWAY PARK FILING NO. 3, FIRST REPLAT, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO, TOGETHER WITH THE EAST HALF OF VACATED 36TH AVENUE ADJACENT THERETO AS DESCRIBED IN ORDINANCE NO. 51, 2000, CASE NO. V/D 700 RECORDED OCTOBER 20, 2000 AT RECEPTION NO. 2801682, EXCEPTING THEREFROM THAT PORTION DEDICATED AS A PART OF 36TH AVENUE AS SHOWN ON 36TH AVENUE - STREET DEDICATION MAP RECORDED MARCH 5, 1996 AT RECEPTION NO. 2479404, COUNTY OF WELD, STATE OF COLORADO



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DESIGNED BY	DATE	PREPARED BY	DATE
JFS	10/11/18	DF	10/11/18
CHECKED BY			
DF			

REVISION DESCRIPTION

REVISED PER STAFF COMMENTS 2/27/18

CITY OF GREELEY	1970 CORP	WELD COUNTY
GATEWAY SELF STORAGE		
2800 36TH AVE		
SITE ANALYSIS MAP		

FOR AND ON BEHALF OF BASELINE CORPORATION

DATE SUBMITTED	8/20/2018
DRAWING SIZE	24" x 36"
SURVEY NAME	BASELINE
SURVEY DATE	07/30/2018
JOB NO.	C0377
DRAWING NAME	377 - SITE ANALYSIS MAP.dwg
SHEET	1 OF 1

1

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LOCATED IN THE SE 1/4, SECTION 14, TOWNSHIP 5 NORTH, RANGE 65 WEST
OF THE 6th PRINCIPAL MERIDIAN
CITY OF GREELEY, WELD COUNTY, COLORADO

LOTS 6, 7 AND 8, BLOCK 1, GATEWAY PARK FLING NO.3, FIRST REPLAT, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO, TOGETHER WITH THE EAST HALF OF VACATED 36TH AVENUE ADJACENT THERETO AS DESCRIBED IN ORDINANCE NO. 51, 2000, CASE NO. V/D 700 RECORDED OCTOBER 20, 2000 AT RECEPTION NO. 2801682, EXCEPTING THEREFROM THAT PORTION DEDICATED AS A PART OF 36TH AVENUE AS SHOWN ON 36TH AVENUE - STREET DEDICATION MAP RECORDED MARCH 5, 1996 AT RECEPTION NO. 2479404, COUNTY OF WELD, STATE OF COLORADO
CONTAINING 225,837 SQ. FT. OR 5.18 ACRES MORE OR LESS.





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4037 S. LINCOLN AVENUE, SUITE 406 • LOVELAND, COLORADO 80537
P: 970.353.7600 • F: 866.679.4864 • www.baselinecorp.com

- 1 THIS SURVEY WAS PREPARED WITH THE BENEFIT OF COMMONWEALTH LAND TITLE INSURANCE COMPANY COMPANY OF NORTHERN COLORADO TITLE COMMITMENT FILE NO. 459-H0318781 DATED SEPTE 16, 2011 AND DOES NOT CONSTITUTE A TITLE SEARCH BY BASELINE ENGINEERING CORP. TO DETERMINE TO DETERMINE TITLE. THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS.
- 2 DISTANCES ON THIS PLAT ARE EXPRESSED IN U.S. SURVEY FEET AND DECIMALS THEREOF. A U.S. SURVEY FOOT IS DEFINED AS EXACTLY 1200/3937 METERS.
- 3 NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER THE FIRST DEFECT IS DISCOVERED. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- 4 PER C.R.S. 18-04-508, ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR.
- 5 DATE OF FIELD WORK: MAY 23, 2018

I, AARON A. DEWO, A COLORADO REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY STATE THAT THIS REZONING MAP WAS PREPARED UNDER MY PERSONAL SUPERVISION AND CHECKING, AND THAT THE FOREGOING MAP IS AN ACCURATE REPRESENTATION THEREOF, ALL THIS TO THE BEST OF MY KNOWLEDGE, INFORMATION, BELIEF AND IN MY PROFESSIONAL KNOWLEDGE.

AARON A. DEMO - ON BEHALF OF BASELINE ENGINEERING CORP.
COLORADO REGISTERED PROFESSIONAL
LAND SURVEYOR #38285

<u>EXISTING LINES/TYPES</u>	<u>PROPOSED LINES/TYPES</u>	
A ——— B	W ———	WATER LINE
ST ——— ST		STORM SEWER
GAS ——— GAS	GAS ———	GASLINE
		PROPERTY BOUNDARY
→ ——— →	→ ——— →	DITCH FLOWLINE
		CURB AND GUTTER (SPILL/CATCH)

EXISTING SYMBOLS	PROPOSED SYMBOLS	
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		SANITARY MANHOLE
		LANDSCAPE/OPEN SPACE
		DRAINAGE PATTERN

CURRENT SITE INCLUDING 36TH AVE VACATION:		
TOTAL SITE AREA	225,837 SF	100%
TOTAL PAVED	89,503 SF	39.6%
TOTAL BUILDINGS:	81,023 SF	35.9%
STORAGE	79,438 SF	
OFFICE	1,585 SF	
TOTAL OPEN SPACE:	55,311 SF	24.5%
PROPOSED SITE INCLUDING 36TH AVE VACATION:		
TOTAL SITE AREA	225,837 SF	100%
TOTAL PAVED:	95,735 SF	42.4%
TOTAL BUILDINGS:	84,923 SF	37.6%
STORAGE	83,338 SF	
OFFICE	1,585 SF	
TOTAL OPEN SPACE:	45,179 SF	20.0%

CITY OF GREELEY	1970 CORP	WELD COUNTY
<p>GATEWAY SELF STORAGE 2800 36TH AVE. ZONING SUITABILITY MAP</p>		

PREPARED UNDER THE DIRECT SUPERVISION OF	
FOR AND ON BEHALF OF BASELINE COORDINATION	
INITIAL SUBMITTAL	8/20/2018
DRAWING SIZE	24" X 36"
DRAWING FORM	SURVEY DATE
BASELINE	07/30/2018
FOR NO.	C0377
DRAWING NAME	
377- ZONING SUITABILITY MAP	
SHEET	1 OF 1
1	

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PLANNING COMMISSION SUMMARY

ITEM: *Energy Action Plan*, an Element of the Imagine Greeley Comprehensive Plan

PLANNER: Caleb Jackson, AICP | Planner II

HEARING DATE: September 10, 2019

PLANNING COMMISSION FUNCTION:

To review the proposed Energy Action Plan. The official Planning Commission recommendation is scheduled for September 24, 2019.

PROJECT OVERVIEW AND BACKGROUND:

In 2018, the City of Greeley adopted a new comprehensive plan, *Imagine Greeley*. The plan identifies the need to create and adopt supplemental plans as additional elements of *Imagine Greeley* to provide more detailed planning and direction around specific issues. In 2019, the Planning Division was tasked with facilitating the creation and adoption of the *Energy Action Plan* as a City Council work program item.

City staff worked with Brendle Group through Xcel's Partners in Energy to collect a group of community stakeholders as an Energy Action Team to draft goals and strategies for residences, businesses, institutions, and the City of Greeley. The Energy Action Team met for a series of workshops, and the direction provided the framework for the *Energy Action Plan*.

The Energy Action Team identified three main priorities for the community:

- Create an affordable and reliable energy future.
- Increase residential, commercial, and industrial energy efficiency and alternative energy opportunities.
- Improve economic health and stimulate growth.

The *Energy Action Plan* proceeds to identify four focus areas: residential, business, educational institution, and municipal. Each focus area has identified goals and specific strategies to help reach the associated goals. By adopting the *Energy Action Plan* and an associated Memorandum of Understanding, Xcel will continue to provide support for implementation of the strategies through Partners in Energy. The *Energy Action Plan* not only helps the community reach its efficiency and cost savings goals, but such a partnership establishes the needed lines of communication to collaborate regarding additional opportunities and provide Greeley with a reliable energy future.

A public open house will be hosted on September 9, 2019. Any significant feedback will be shared during the Planning Commission worksession and subsequent hearing.

The Planning Commission is the primary steward of the City's comprehensive plan. Any amendments or additions to the plan, such as adoption of a sub-element, require a public hearing on the proposed amendment and formal recommendation to the City Council. The recommendation is scheduled for the Planning Commission hearing on September 24, 2019.

ATTACHMENTS:

Attachment A *Energy Action Plan*, an Element of the Imagine Greeley Comprehensive Plan



CITY OF GREELEY ENERGY ACTION PLAN

An Element of the Imagine Greeley
Comprehensive Plan



PARTNERS IN ENERGY
An Xcel Energy Community Collaboration

Acknowledgements

Thanks to the following organizations and individuals for participating in developing this Energy Action Plan.

Greeley's Energy Action Planning Team

The planning team was formed from a varied group of City of Greeley staff, local and regional organizations, local businesses, and committed community members.

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- Adam Frazier, Richmark
- Michael Harris, Energy Outreach Colorado
- Kent Henson, Greeley-Evans School District 6
- Jean Hinkle, Poudre Valley Rural Electric Association
- Kirk Lechlitter, University of Northern Colorado
- Dave Nalley, University of Northern Colorado
- Sarah Macquiddy, Greeley Chamber of Commerce
- Christine McDermott, Atmos Energy
- Michael Millsaps, Aims Community College
- Jack Southards, Aims Community College
- Sarah Willcutts, Andersen Salvage
- Timothy Ullmann, Aims Community College

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- Erik Briscoe
- Jon Rarick
- Louisa Andersen
- Christian Schulte
- Larry Modlin

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DRAFT

Executive Summary

This Energy Action Plan outlines tangible steps for the City of Greeley to move the community toward its development and energy efficiency goals. Xcel Energy's Partners in Energy facilitated a series of workshops with the Energy Action Team in the spring and summer of 2019, to develop this plan.

Our Vision

Greeley promotes a healthy and diverse economy and a high quality of life that is responsive to all its residents, businesses, and neighborhoods. Through Xcel Energy Partners in Energy, the community will create an affordable and reliable energy future based on increased residential, commercial, and industrial energy efficiency and alternative energy opportunities to improve economic health and stimulate growth.

Our Goals

The City of Greeley aspires to achieve the following energy goals:

- Encourage 2,700 or more City of Greeley households implement at least one energy efficiency or renewable energy measure annually.
- Encourage 270 or more businesses to participate in an energy efficiency or renewable energy program through Xcel Energy each year.
- Develop outreach channels to students to increase awareness of and engagement in energy efficiency and renewable energy opportunities.
- Complete energy audits in targeted municipal facilities and implement at least one energy efficiency measure in each targeted facility, as recommended by the energy audits.

How Will We Get There?

To move toward its goals, the City of Greeley's Energy Action Team identified strategic initiatives and targets for four important focus areas. These focus areas and strategic initiatives are the working elements of the Energy Action Plan and will generate concrete actions and impacts.

Focus Areas for City of Greeley's Energy Action Plan

Residential

- Conduct outreach at community events and activities.
- Develop and conduct residential outreach campaigns to under-resourced families, renters, and homeowners.

Business

- Host an annual Greeley business energy efficiency expo.
- Conduct sector-based small business outreach to restaurants, offices, retail, and eco-friendly companies.

Educational Institutions

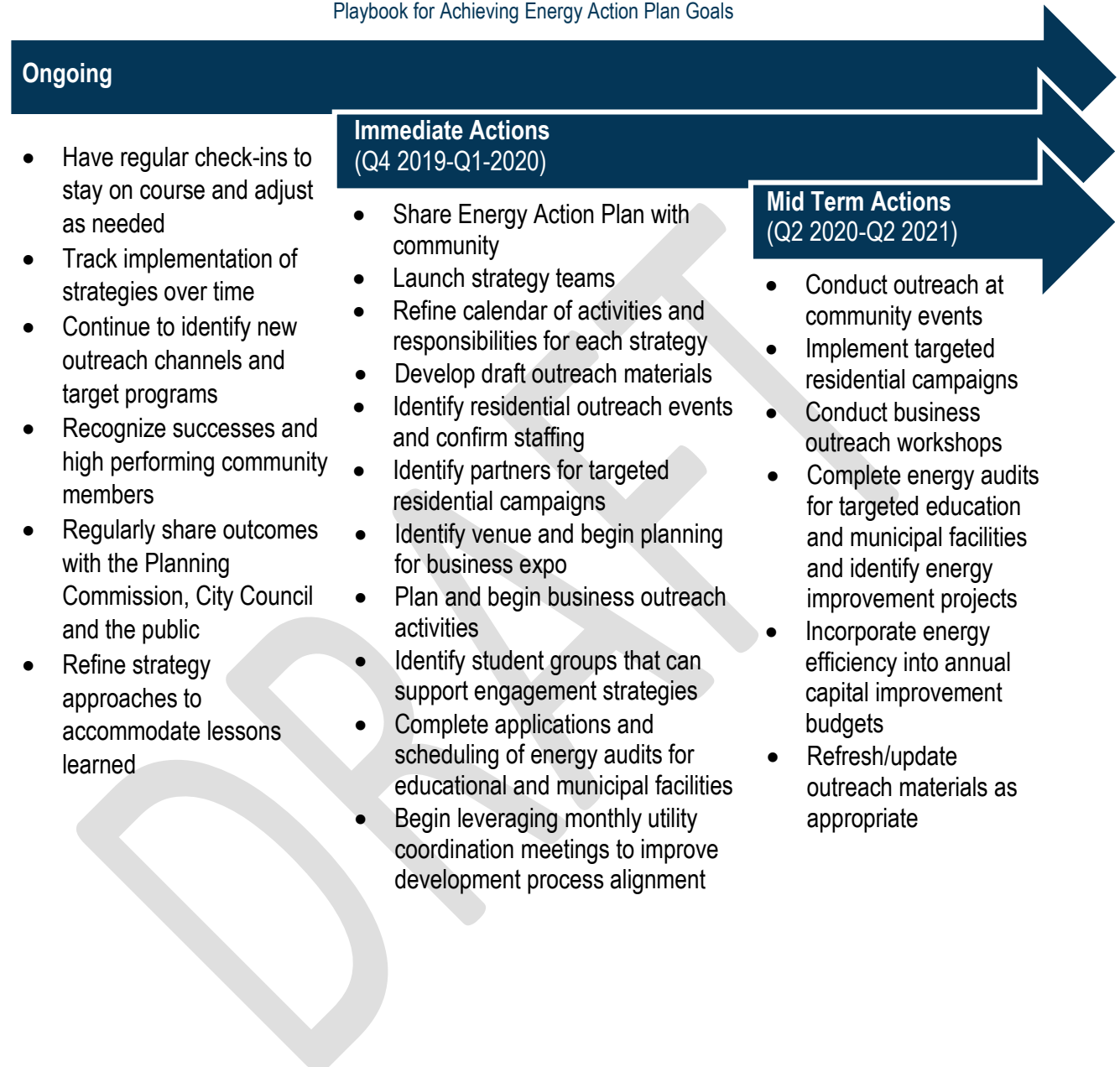
- Engage students in energy efficiency opportunities.
- Complete energy audits and efficiency improvements at targeted facilities.

Municipal

- Complete energy audits and efficiency improvements at targeted facilities.
- Align processes to integrate energy efficiency and renewable energy information into new construction and development review processes.

The playbook outlining key actions and timing, as well as what follows the Partners in Energy implementation support period is summarized below.

Playbook for Achieving Energy Action Plan Goals



Introduction

This Energy Action Plan outlines tangible steps for the City of Greeley to move the community towards its energy efficiency and cost savings goals while fostering relationships and partnerships with its utility providers. The community's main energy priorities are outlined below:

- Create an affordable and reliable energy future.
- Increase residential, commercial, and industrial energy efficiency and alternative energy opportunities.
- Improve economic health and stimulate growth.

This plan begins with documentation of the Xcel Energy Partners in Energy planning process, an overview of the City of Greeley's demographics, and the community's baseline energy use and profile. Next it introduces the energy vision, supporting energy focus areas, and community goals. The strategies provide more specific direction for the coordination, steps, and timelines necessary to achieve the goals. Finally, the plan concludes with information about ongoing plan monitoring and maintenance.

Xcel Energy Partners in Energy

Xcel Energy is the main electric utility serving the City of Greeley. In the summer of 2014, Xcel Energy launched Partners in Energy to support communities, such as Greeley, in developing and implementing energy action plans that supplement existing sustainability plans, strategies, and tools.

Plan Development Process

The content of this plan was derived from a series of four, 2-hour stakeholder workshops held in the spring of 2019. The stakeholder group, or Energy Action Team, included representatives from the City of Greeley, local businesses, area institutions, and community organizations. See Figure 1 for a summary of the process that the Partners in Energy facilitators guided the group through to develop the Energy Action Plan.

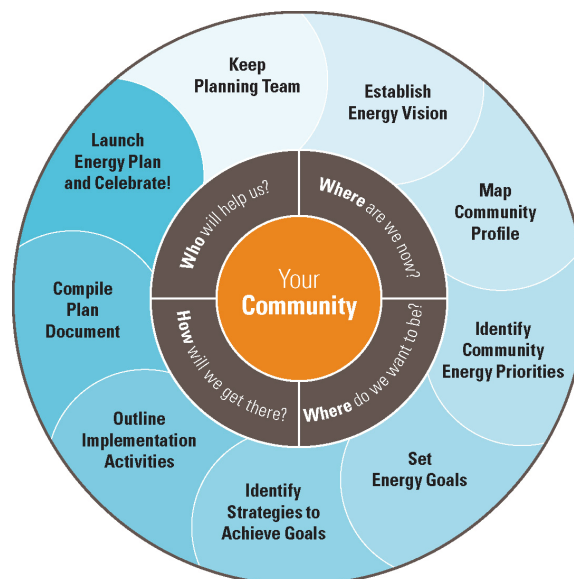


Figure 1. Partners in Energy Process for Success

The Partners in Energy facilitators led the drafting and development of the plan and refined the content in coordination with Energy Action Team participants. The City sought feedback on the plan at a public open house with specific outreach to major stakeholders. Additionally, work sessions with Planning Commission and City Council were held prior to adoption to facilitate an opportunity to garner feedback from community leaders.

Successful implementation of the plan and achievement of the goals will require extensive public involvement and participation. While a draft of the Energy Action Plan was available for public comment, the team will focus on engaging community members in the implementation of the plan.

Implementation Support

Partners in Energy will work with the City of Greeley to support implementation of the Energy Action Plan, especially in the early stages. See Figure 2 for Partners in Energy resources available to support implementation.



Figure 2. Resources from Xcel Energy for Implementation

A Memorandum of Understanding (MOU) between the City of Greeley and Xcel Energy will detail the specific commitments of each entity and the implementation support provided. The Implementation MOU will be valid for a period of up to 18 months following the Energy Action Plan adoption and will likely include time for Partners in Energy facilitators to provide staffing to support project management and strategy deployment, as well as funding for reimbursable expenses associated with strategy implementation.

Relationship to Comprehensive Plan

The *Imagine Greeley* Comprehensive Plan describes the need to create and adopt supplemental plans as additional elements of *Imagine Greeley* to provide more detailed planning and direction around specific issues. Multiple objectives in the *Imagine Greeley* Comprehensive Plan relate to energy, and envisions the community increasing efficiency and conservation efforts. Because of its location, history, and prominence in energy development in Colorado, the time is ripe for Greeley to develop a plan for an energy future that facilitates the growth of its economy and meets the needs of a growing population. A plan for energy

efficiency and renewable energy growth fits the vision, core values and goals and objectives set forth in *Imagine Greeley*, the recently adopted update of the Comprehensive Plan.

Imagine Greeley Vision

Greeley values and respects the diversity of its people, cultures, neighborhoods, and resources in a manner that creates and sustains a safe, unique, united, vibrant, and rewarding place in which to live, work, learn, grow, and play. The community promotes a healthy and diverse economy, and a high quality of life that is responsive to all its residents, businesses and neighborhoods.

Imagine Greeley Core Values

Of the twelve core values identified in *Imagine Greeley*, the Energy Action Plan directly supports four: proactive, progressive, and balanced economic development; responsible stewardship of natural resources and the environment; high-quality infrastructure and services; public/private cooperation to achieve and maintain exceptional community benefits.

Imagine Greeley Goals and Objectives

More specifically this Energy Action Plan supports the following goals and objectives outlined in *Imagine Greeley*.

NR-4: Use resources efficiently and sustainably.

- Provide community leadership through example by maximizing energy and water efficiency in all City operations, facilities, programs, and equipment.
- Encourage the efficient use and conservation of energy.
- Promote the incorporation of renewable resources throughout the community. Expand opportunities to capture waste energy to supply local utility needs and drive the local economic development engine.

EH-4 Support and collaborate with the city's school districts.

HO-1.5 Provide new and prospective home buyers with information to support a successful transition from renting to ownership.

NR-3 Demonstrate stewardship of the environment

NR-5 Engage all members of the community in the process of supporting the stewardship of our natural and built environments.

PS-3.3 Explore the feasibility of adopting minimum standards for the condition of rental housing properties.

Energy Action Plan Element

This Energy Action Plan is intended to serve as an element of *Imagine Greeley*. It contains an energy vision statement that aligns and builds upon the *Image Greeley* vision and core values, supports the *Imagine Greeley* goals and objectives, and it prioritizes and details energy efficiency and renewable energy strategies to support implementation.

Xcel Energy and City of Greeley Coordination

Through the planning process, the Energy Action Team identified several opportunities for improved coordination and communication between Xcel Energy and the City of Greeley, summarized below.

Utility Coordination

The City of Greeley and Xcel Energy meet routinely to coordinate on utility infrastructure and operational issues. In the past, these meetings occurred monthly; however, through this planning process it was discovered that these utility coordination meetings were not happening monthly as intended. The City of Greeley has recently created a new Utility Coordinator position who will be responsible for organizing and facilitating these monthly utility coordination meetings. Xcel Energy will participate in these meetings to continue to improve alignment and communication on electric system operations and infrastructure. These meetings provide an opportunity to discuss topics such as decision-making criteria for the use of City undergrounding funds, site coordination, and regional service and capacity planning.

Key Site Coordination

In addition to illuminating process improvements for utility coordination meetings, the Partners in Energy process also highlighted the opportunity to have more direct communication and coordination on key economic development sites in the community. It was suggested that the City of Greeley and Xcel Energy operations staff work together on a quarterly (or similar basis) to review key opportunity sites and align expectations and/or pursue site certifications.

Account Management

Xcel Energy's account manager and area service manager will remain the ongoing and primary points of contact for the City of Greeley for any operational and/or infrastructure planning or coordination needs. They are committed to supporting ongoing efforts to enhance and build relationships between the City of Greeley and Xcel Energy (e.g., operations, account managers, etc.), and improving alignment and communication with specific customers and/or targeted geographic locations within the community that may have unique energy needs.

Who Are We? – Community Background

Greeley was founded in 1869, when the original settlers envisioned a utopian community on the high plains of northern Colorado. The community was founded on the principles of temperance, religion, education, agriculture, irrigation, cooperation, and family values. In the 150 years since incorporating, the community has grown into the 12th largest city in Colorado with a population of 108,000 people and is projected to continue growing in area and population.

Geography, Population, and Demographics

Greeley was located near the confluence of the Cache la Poudre and South Platte Rivers to take advantage of water for irrigated agriculture. Located approximately 50 miles north of Denver, Greeley is close to other large cities in northern Colorado, such as Fort Collins and Loveland. US Highway 34 links the city with I-25, and US Highway 85 provides access to destinations north and south of the community.

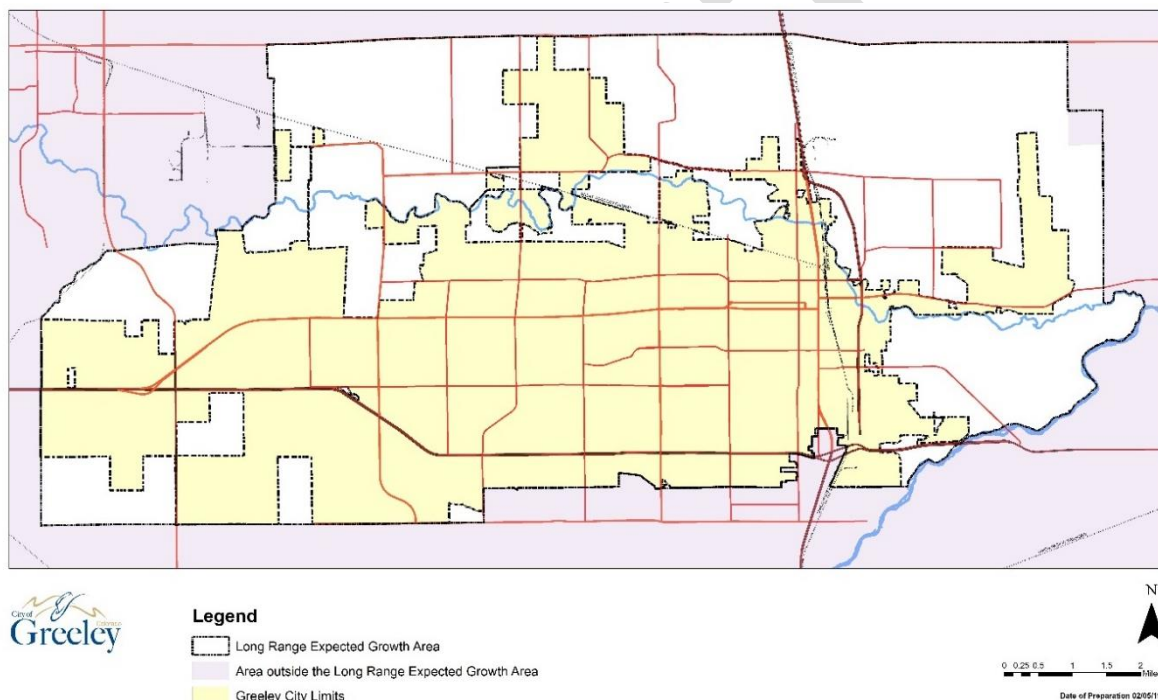


Figure 3. Greeley Planning Area

Figure 3 shows the planning area for this Partners in Energy Plan. It includes the City of Greeley and Greeley's adopted Long Range Expected Growth Area.

Greeley's population is expected to continue to grow at a rate of approximately 1.8 percent per year through 2040, which could coincide with an increase in energy consumption over the same time. In 2040, the population in the Long Range Expected Growth Area is projected to be 156,000 people. According to the US Census Bureau, Greeley's 2018 population identifies as 62 percent white, 17 percent Hispanic or Latino, 12 percent black/African American, and 5 percent Asian, while 2 percent identify as two or more races. Since Greeley has a diverse community, communication around energy consumption and strategy will need to be facilitated through several different channels. In addition, accommodation should be made

for about 1 in 4 residents who speak a language other than English, the majority of which are Spanish-speaking.

Compared to the rest of Northern Colorado, the City of Greeley has a relatively young age profile, with a median age of 30.7. Of the total population, 74 percent is over 18 years of age while only 12 percent is over 65.

The median household income in Greeley for 2018 was \$50,483, lower than state average of \$62,520. According to the 2012-2017 American Community Survey 5-year Estimates (ACS), 15 percent of the population live below the poverty level. However, Greeley is about 15 percent more affordable than the State of Colorado overall, likely owing to relatively lower housing costs.

Housing

As of 2019, Greeley had an estimated total of 39,897 housing units (City of Greeley data). Single family homes account for 64 percent of all units, and most of the housing (65 percent) was built between 1970 and 2009. The decades 1970-1979 and 2000-2009 saw the largest growth in the housing stock (see Figure 4), showing that Greeley has a mix of older housing that are likely due for efficiency and appliance upgrades as well as newer units that are likely more efficient, but still may have opportunities for upgrades. Greeley also has a mix of owner occupied (58 percent) and renter occupied units (42 percent).

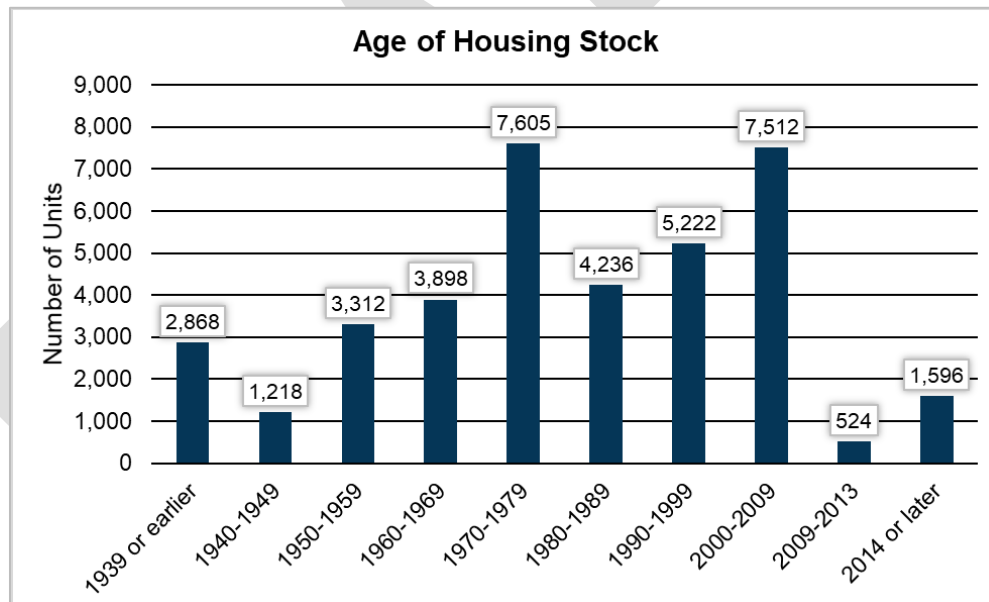


Figure 4. Age of Housing Stock

During the recession, the rate of new residential construction was below the long-term average rate of construction, leading to a shortfall of total residential units. Over the last decade, the housing stock percentage of multi-family housing has increased while the percentage of single-family housing has decreased, helping to make up for this shortfall (Figure 5). As the population grows and home sale prices rise, the City of Greeley expects new multi-family construction will continue to increase as percentage of the total housing stock.

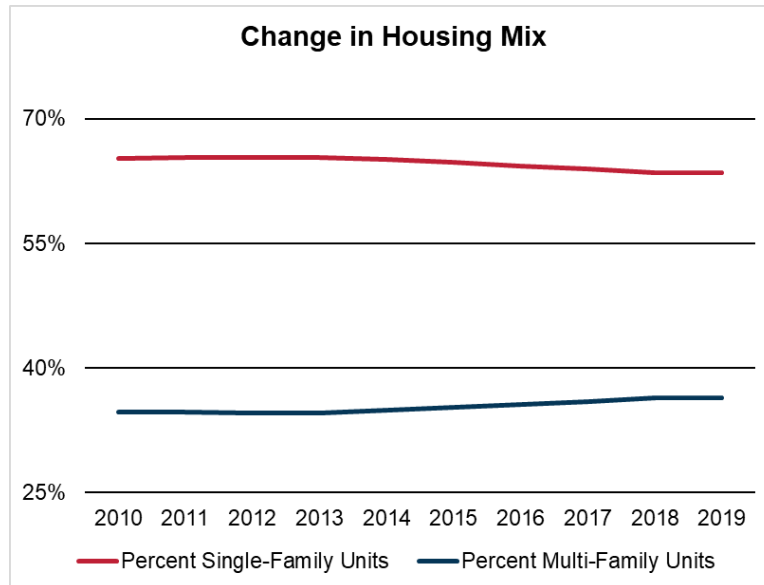


Figure 5. Percent Change in Housing Mix

Business and Economy

Greeley has developed into a cultural and academic hub, hosting educational institutions such as the University of Northern Colorado and Aims Community College. According to the US Census Bureau, in 2018, 44,555 people were employed in Greeley. The top five industries are: education and healthcare (21 percent); retail trade (12 percent); arts, entertainment and recreation (11 percent); manufacturing (10 percent); and professional services (9 percent). Overall the City of Greeley has over 7,400 registered businesses. These large industry groups are good channels for energy efficiency information due to the number of employees and facilities in the community.

The unemployment rate is low, at 3.0 percent (Bureau of Labor and Statistics). Focusing on energy efficiency and renewable energy training and improvements can continue to enhance economic vitality, since supporting workforce development and create meaningful employment opportunities that benefit the community.

Greeley also boasts a relatively affordable cost of living and high quality of life, a combination not found in many other communities along the Front Range.

Where Are We Now?

The Case for an Energy Action Plan

Through plans, programs, and policies, the City of Greeley encourages the responsible stewardship of natural resources and the environment. Greeley's water conservation efforts have been particularly successful in ensuring that the community has ample water resources for generations to come. Similarly, the City also encourages the efficient use and conservation of energy and promotes the incorporation of renewable resources throughout the community.

An Energy Action Plan can help support these existing plans, such as *Imagine Greeley*, and move the City's energy efficiency goals forward as the community grows. By assisting supporting families and businesses with energy efficiency measures, programs, and education, the entire community can benefit from energy and cost savings, improved air quality, and increased community resiliency.

Baseline Energy Analysis

An introductory step in the Partners in Energy planning process (see Figure 1) is to develop a community energy profile. The Partners in Energy team analyzed historical electricity data in Greeley by sector (residential, commercial and industrial, municipal). Three years of data (2016-2018) were used for the analysis, and 2018 serves as the baseline year for this plan. Only Xcel Energy electricity data are presented in the following baseline analysis.

Poudre Valley Rural Electric Association (PVREA) provides electrical service to the western most portion of Greeley. As of 2017, PVREA customers made up about 6% of the total residential electricity use and 4% of the total commercial electricity use in the City. While this is a small portion of the total electricity use, the number of residential electricity customers in PVREA grew by almost 60% between 2015 and 2017. Since this area of Greeley is rapidly growing, it represents a good opportunity to build in energy efficiency from the beginning. PVREA data was unavailable for 2018.

Atmos Energy is the natural gas provider for the City of Greeley for both residential and commercial premises. Atmos Energy did not provide data to inform the baseline analysis, but are supporting strategy implementation.

Community Energy Use and Trending

In 2018, Greeley had 41,432 residential, commercial and industrial, and municipal premises (Figure 6). A premise is a unique identifier for the location of electricity or natural gas service. In most cases, it is a meter location. This total includes premises served by electricity, natural gas, or both. Residential premises make up 87 percent of the overall community, but they account for 36 percent of the total electricity consumption in the community in 2018 (Figure 7).

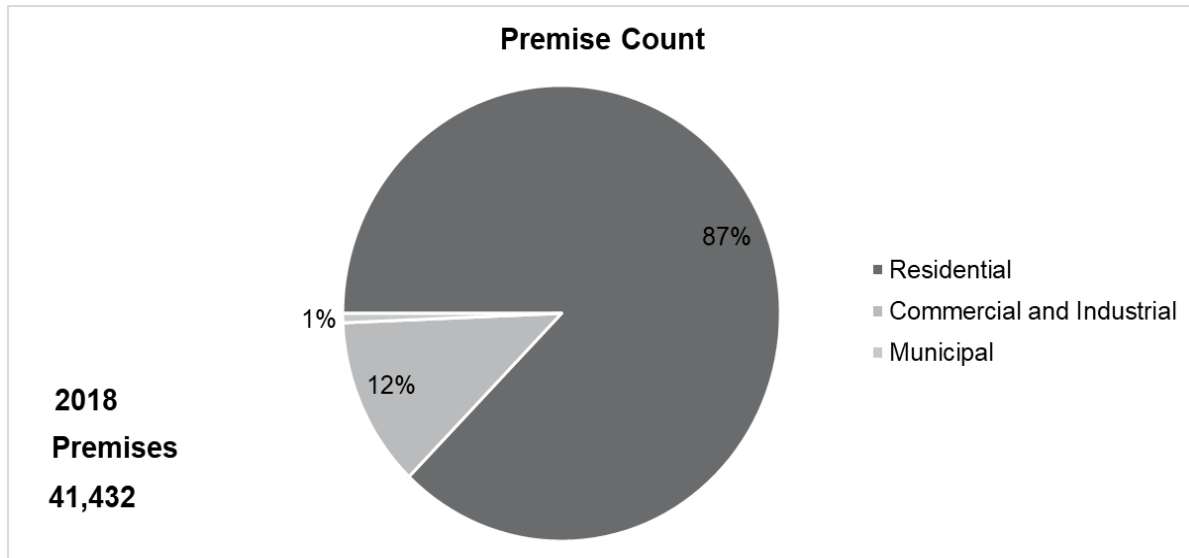


Figure 6. 2018 Premise Count

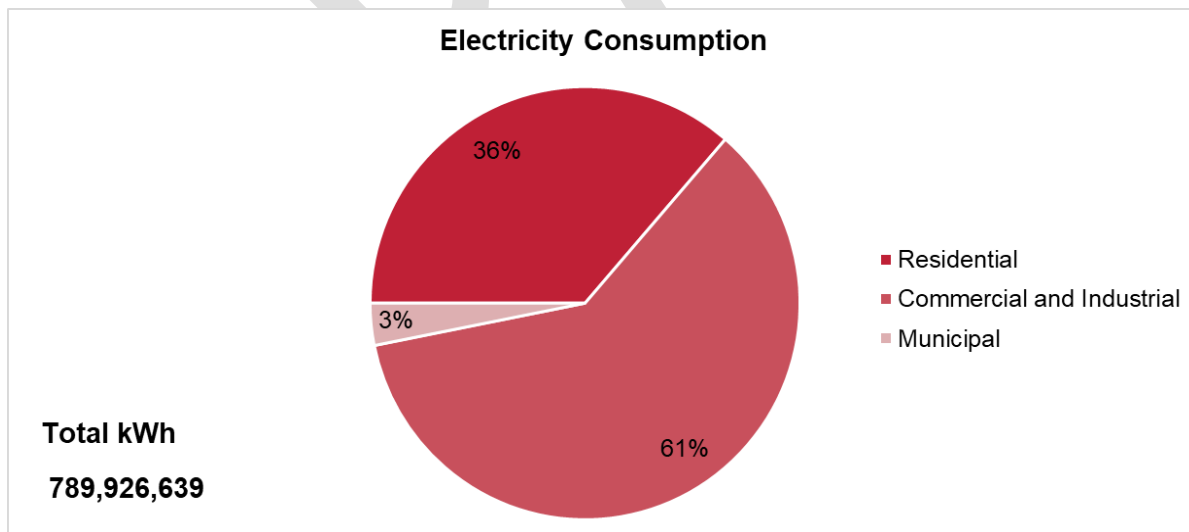


Figure 7. 2018 Electricity Consumption by Sector

While the number of commercial and industrial and municipal premises is small compared to the residential sector, together these sectors account for 64 percent of the total electricity consumption in the community (Figure 7) and 58 percent of the overall electricity costs (Figure 8).

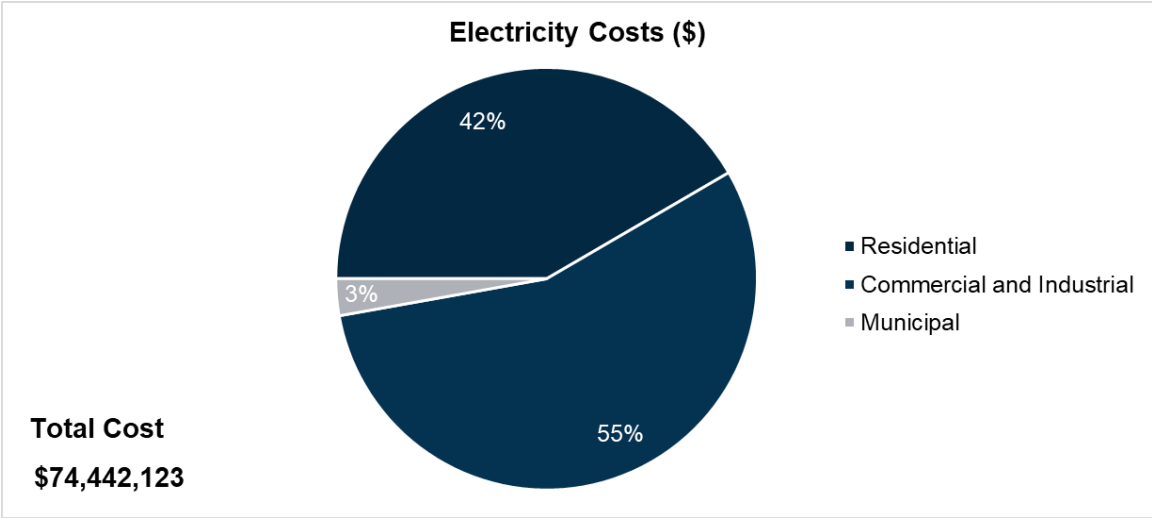


Figure 8. 2018 Electricity Costs by Sector

Figure 9 shows the cost per premise in 2018 for electricity. Although municipal facilities make up a small portion of the total energy costs, they have the highest annual cost per premise, presenting opportunities for savings in this sector.

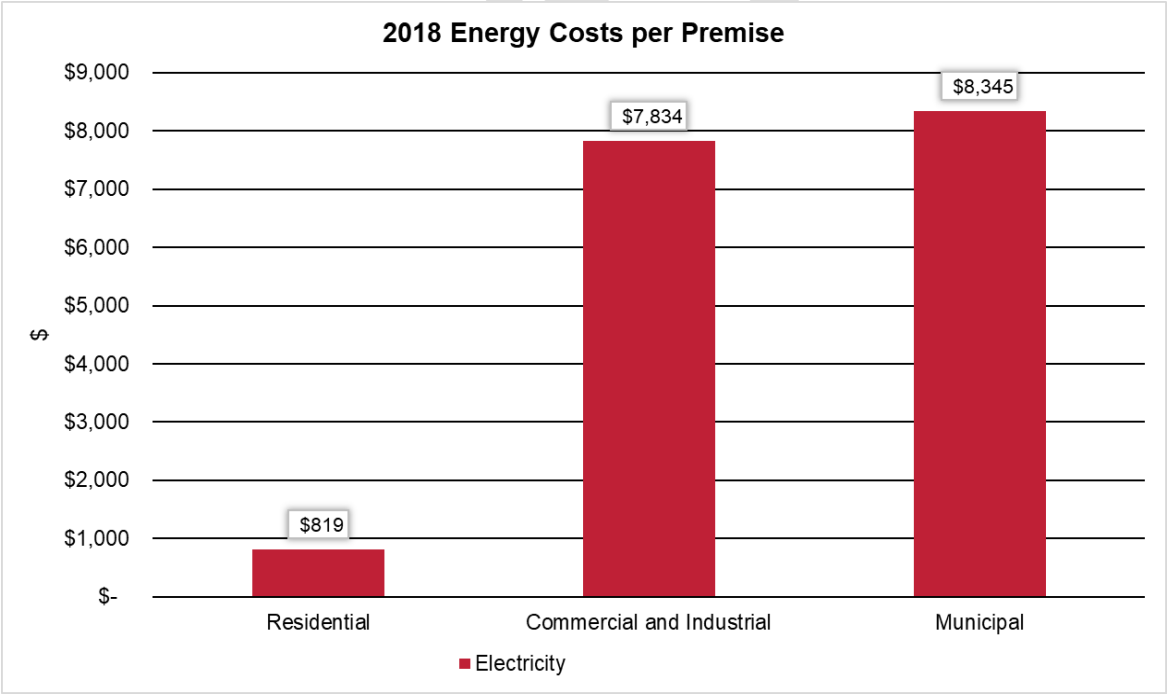


Figure 9. 2018 Electricity Costs per Premise

In total, approximately 790 million kilowatt hours (kWh) of electricity were consumed by residents and businesses in the City of Greeley in 2018. The commercial and industrial sector consumed most of the electricity in the community, accounting for nearly 478 million kWh (61 percent), while the residential sector consumed 287 million kWh (36 percent), and the municipal sector (encompassing all City of Greeley

municipal premises) consumed 25 million kWh (3 percent) (Figure 10). Electricity use in Greeley in each of the three sectors has increased slightly over the last three years from 2016 to 2018 (Figure 10).

The municipal sector saw an increase in electricity consumption of about 12 percent across the 274 premises that are included in this analysis from 2016-2018 (Figure 10). During the same time frame, a 3 percent increase in residential sector electricity consumption was compounded by a 1 percent increase in the commercial and industrial sector (Figure 10). Overall, electricity consumption increased 2 percent across the community between 2016 and 2018 while the number of premises in Greeley went up by 1.3 percent. This means that the average energy use per premise has increased.

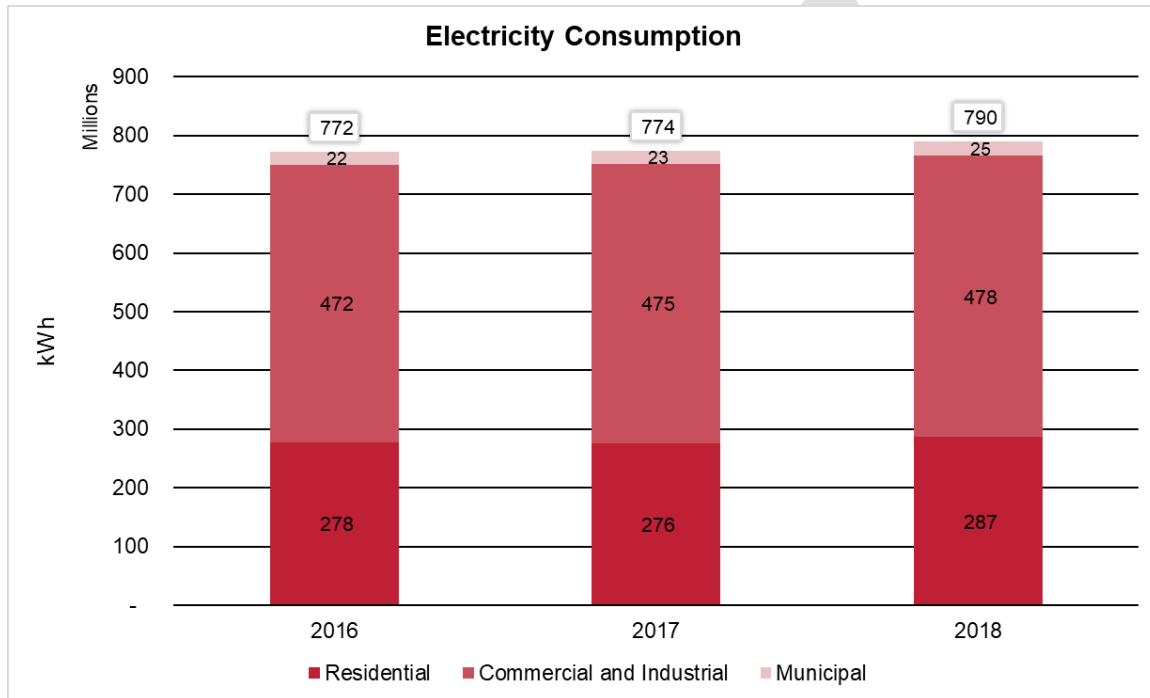


Figure 10. Three Year Trend in Electricity Consumption by Sector

Efficiency Program Participation

Part of the community energy profile includes Xcel Energy's historic demand-side-management (DSM) and renewable energy program participation and associated energy savings for the residents and businesses of Greeley. These data provide a snapshot of what types of programs customers are using and to what extent. The data also show opportunities for greater participation in the available programs and the need for increased education and awareness.

In 2018, about 5 percent of eligible residents participated in Xcel Energy DSM and renewable energy programs, saving over 429 thousand kWh. This equates to an average annual electricity cost savings of \$21 per participant, in addition to rebates and other financial incentives associated with program participation. Figure 11 shows the average residential program participation rate from 2016 through 2018.

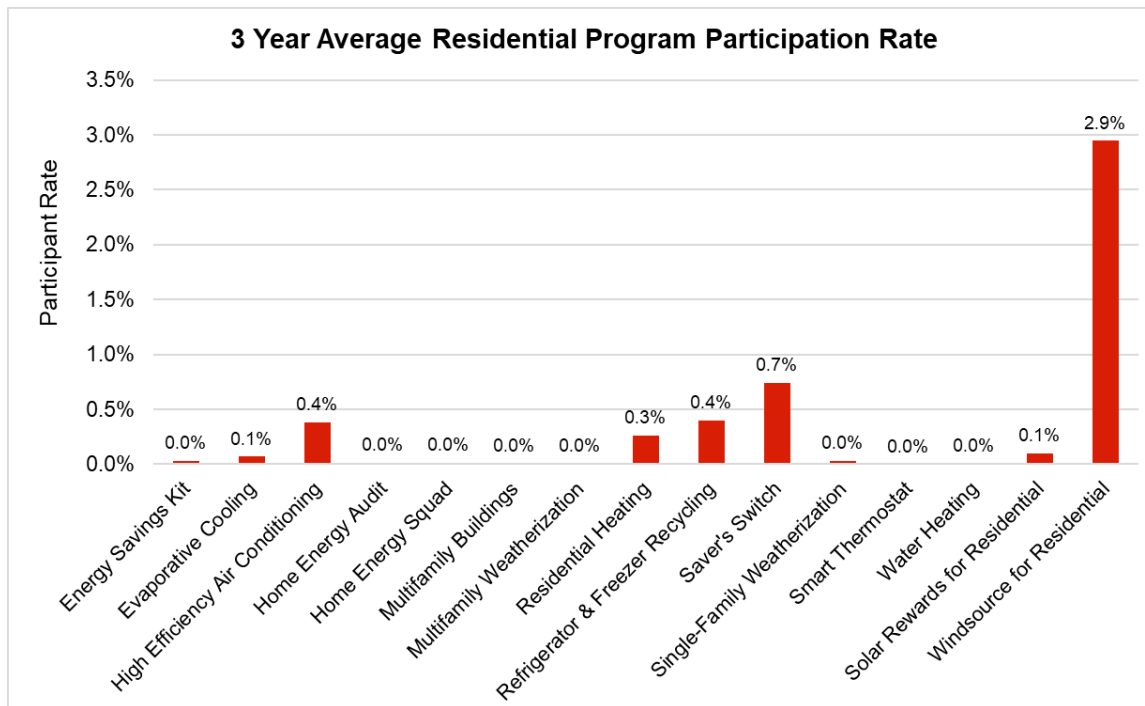


Figure 11. Three Year Average Residential Program Participation

In 2018, about 4 percent of businesses (including City facilities) participated in Xcel Energy programs, saving over 9 million kWh. This equates to an average annual energy cost savings of over \$4,000 per participant, in addition to rebates and other financial incentives associated with program participation. Figure 12 shows the average business program participation rate from 2016 through 2018.

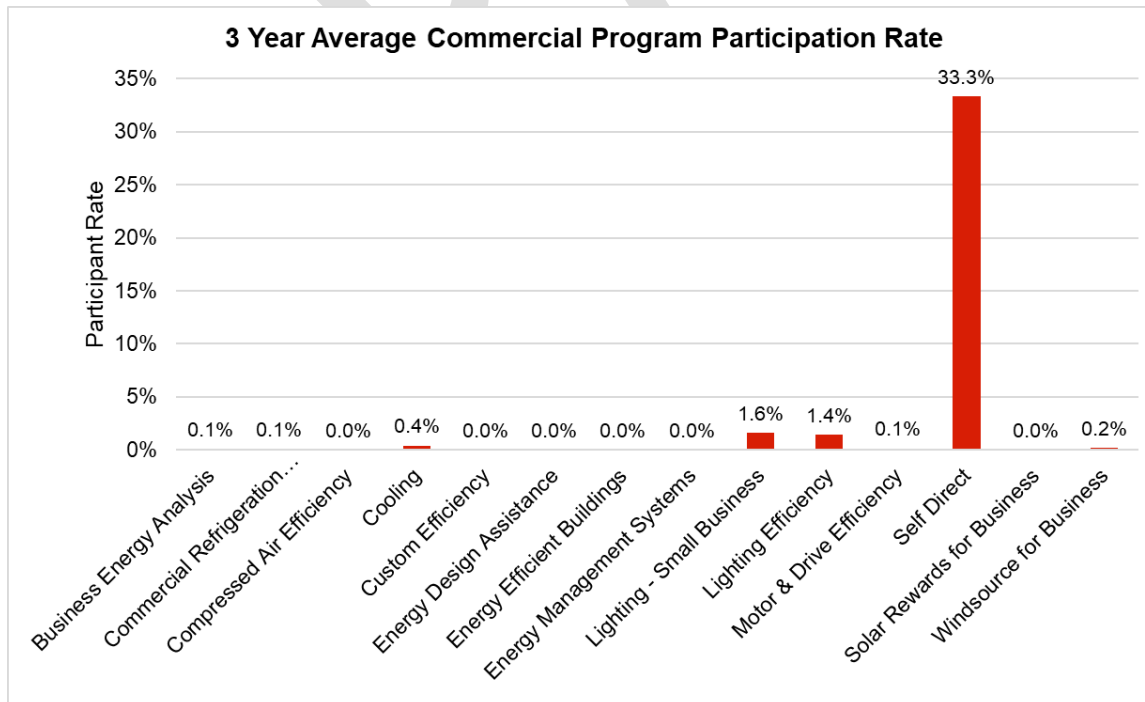


Figure 12. Three Year Average Commercial Program Participation

Existing Energy Practices

Table 1. Community Energy Initiatives

City of Greeley
<ul style="list-style-type: none"> • Solar arrays have been installed at four City facilities including Bellevue Water Treatment Plant, Boyd Lake Water Treatment Plant, the Greeley Water Pollution Control Facility, and the Family FunPlex. • LED Lighting has been installed in City buildings and outdoor streetlights. • New construction incorporates energy conservation practices. The City currently uses the 2009 International Energy Conservation Code and aims to adopt the 2018 update.
University of Northern Colorado
<ul style="list-style-type: none"> • 10kW solar PV system is installed on McKee Hall. • Parsons Hall (Facilities Building) is getting a new 170Kw solar array that will be installed summer 2019. • During the summer of 2019 lighting in residents' halls common areas and exterior fixtures are being converted to LEDs. • T-8 florescent fixtures have been converted to LED fixtures in 17 buildings. • Controls upgrades and scheduling upgrades have been implemented for HVAC equipment. • HID lighting in Butler Hancock gym has been upgrading to LED with new lighting controls and motion detectors. • Parking lot lights have been upgraded to LED in most lots. • Large destratification fans have been added to Butler Hancock gym and Rec Center gyms and workout areas to reduce energy consumption of the HVAC systems. • Induction lighting was installed on Central Campus walkways. • Variable frequency drives are used to control most pump and fan motors on campus. • New construction is designed to achieve LEED gold rating.

Local Outreach and Communication Channels

Engaging the community is critical to reaching the Energy Action Plan goals. Below are some of the ways that residents and businesses currently receive information. These communication channels will be helpful during implementation efforts.

Xcel Energy, the City of Greeley, and local educational institutions will work together where appropriate to coordinate on relevant events that are hosted by each organization to support the goals of the Energy Action Plan.

Table 2. Local Outreach

Local Outreach Channels	
Digital Communications	
<ul style="list-style-type: none"> • City of Greeley Facebook • @greeleygov Twitter • @cityofgreeley Instagram • Targeted emails from Xcel Energy • Nextdoor • Press Releases • City of Greeley Events Calendar webpage 	<ul style="list-style-type: none"> • City of Greeley News Updates webpage • City of Greeley eNewsletter • Greeley Area Chamber of Commerce newsletter • City of Greeley Utility Bills (City Connect)
Events	
<ul style="list-style-type: none"> • Friday Fest • Greeley Stampede • Greeley Blues Jam • Weld County Fair • Colorado Farm Show • Greeley Farmers Market 	<ul style="list-style-type: none"> • Greeley Business Energy Expo • Potato Day • Greeley Lights the Night Parade • Greeley Arts Picnic • Weld Project Connect • UNC Move-in Day
Community Spaces for Collateral Distribution	
<ul style="list-style-type: none"> • Union Colony Civic Center • Island Grove Park facilities • Libraries • Greeley Family FunPlex 	<ul style="list-style-type: none"> • City of Greeley Park Shelters • Retirement Communities • University of Northern Colorado facilities • Greeley Recreation Center

Where Do We Want to Go?

Our Energy Vision

During the first planning workshop, team members worked together to craft an energy vision statement that expresses the Greeley's energy intentions and values:

Greeley promotes a healthy and diverse economy and a high quality of life that is responsive to all its residents, businesses, and neighborhoods. Through Xcel Energy Partners in Energy, the community will create an affordable and reliable energy future based on increased residential, commercial, and industrial energy efficiency and alternative energy opportunities to improve economic health and stimulate growth.

Focus Areas and Goals

Greeley will work to achieve its energy vision by establishing ambitious but achievable goals and implementing strategies across the three focus areas: residential, business, and municipal.

Focus Area 1: Residential

The residential sector in Greeley accounts for 87 percent of Xcel Energy premises, and 36 percent of electricity consumption, as discussed in the Baseline Energy Analysis section of this document. This customer group represents a significant opportunity to reduce energy consumption and save money in Greeley by impacting how residents view and consume energy. The aging housing stock in Greeley also represents a significant opportunity, as many homes are likely able to realize savings through efficiency upgrades.

Historical Program Participation

Figure 13 shows participation in each of Xcel Energy's residential efficiency and renewable programs over the last three years. In 2018, there were 1,827 participants, representing 5 percent of the residential premises in Greeley. The planning team used this information to inform the residential focus area goals, primarily focusing on increasing participation rates and overall community energy savings.

Note that programs like Home Energy Squad® present tremendous opportunities for Greeley residents to foray into energy efficiency improvements. For just \$50, the Home Energy Squad will visit homes and make it more efficient for residents. Program offerings include swapping out traditional bulbs for LEDs, installing a programmable thermostat, weather-stripping a drafty door, and installing energy-efficient showerheads and faucet aerators. Installation, labor, and materials are valued at \$200. Spanish-speaking technicians are available.

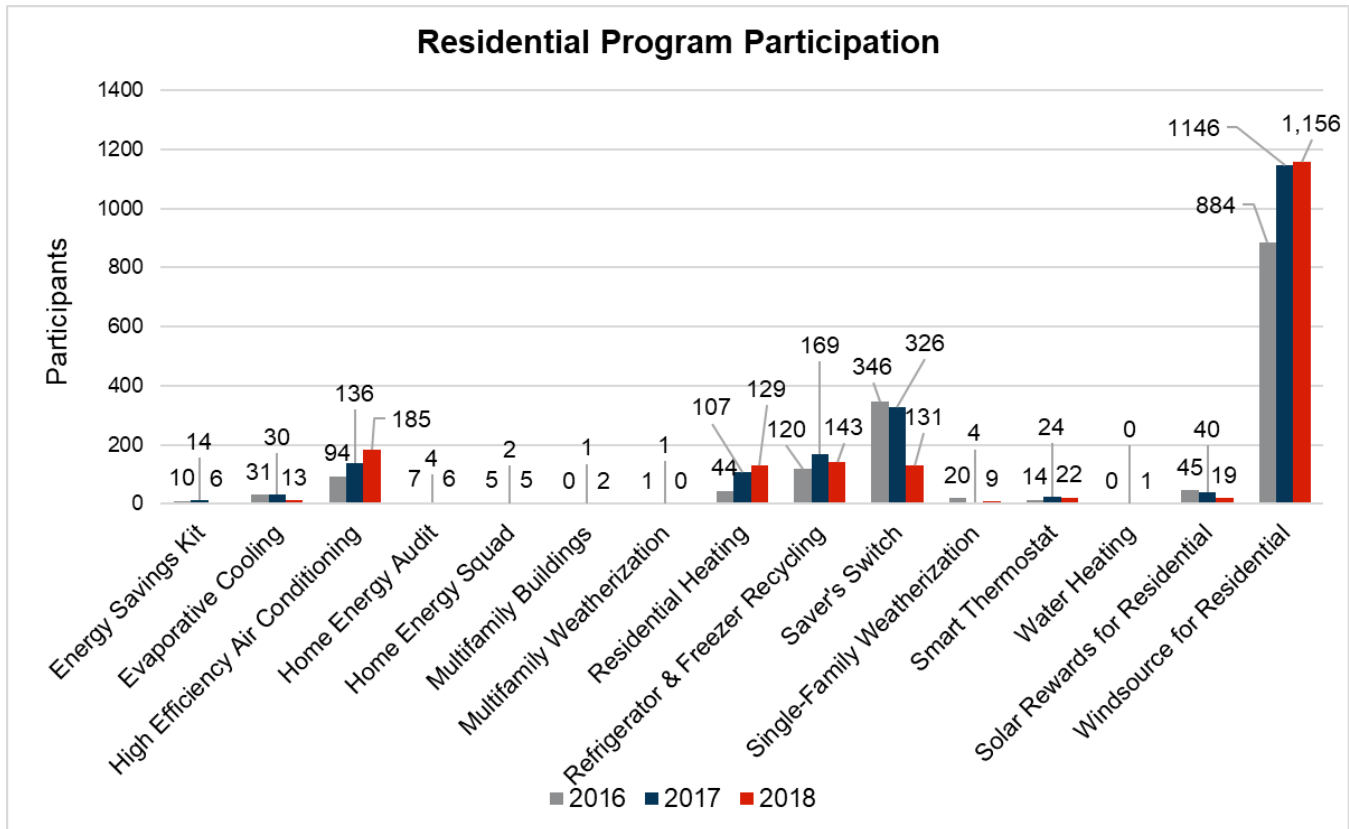


Figure 13. Three Year Residential Program Participation

Goal

Greeley's residential goal is for 2,700 households to implement one energy efficiency or renewable energy measure annually. This equates to approximately 7.5 percent of residential premises or Greeley households participating in a residential DSM or renewable energy program through Xcel Energy. Achieving this goal would increase the residential 3-year average program participation (1,817 from 2016 to 2018) by 50 percent.

Impact

Achieving these goals would result in approximately 598,000 kWh in electricity savings annually. This translates to approximately \$81,000 in energy cost savings and 430 metric tons of carbon dioxide equivalent (MTCO₂e) in greenhouse gas emissions reductions in the first year.

Focus Area 2: Business

As identified in the Baseline Energy Analysis section of this document, business facilities in Xcel Energy's service territory represent only 13 percent of total Xcel Energy premises, but 64 percent of total electricity consumption in Greeley. There are about 5,000 Xcel Energy business premises in Greeley and relatively low participation in energy efficiency and renewable energy programs, representing a sizeable opportunity to achieve energy and cost savings. While this focus area presents challenges since businesses are busy and it can be difficult to connect with decision makers on energy matters, a simple and impactful targeted approach will allow this sector to benefit from and contribute to overall community energy efforts. This focus area includes strategies targeting large businesses and small and medium businesses. Outreach

messaging will focus on cost savings through energy efficiency improvements as well as the co-benefits of efficiency upgrades such as improved comfort and reliability.

Historical Program Participation

Over the past 3 years an average of 202 commercial and industrial facilities in Greeley participated in Xcel Energy programs, representing about 4 percent of all businesses. This resulted in a 2 percent reduction in electricity use across the business community. Most participation is in the Small Business Lighting and Lighting Efficiency programs (Figure 14), and the relatively low levels of participation compared to the number of business present continued opportunities for further engagement. The 3-year average participation rates were used to inform the commercial and industrial focus area goals.

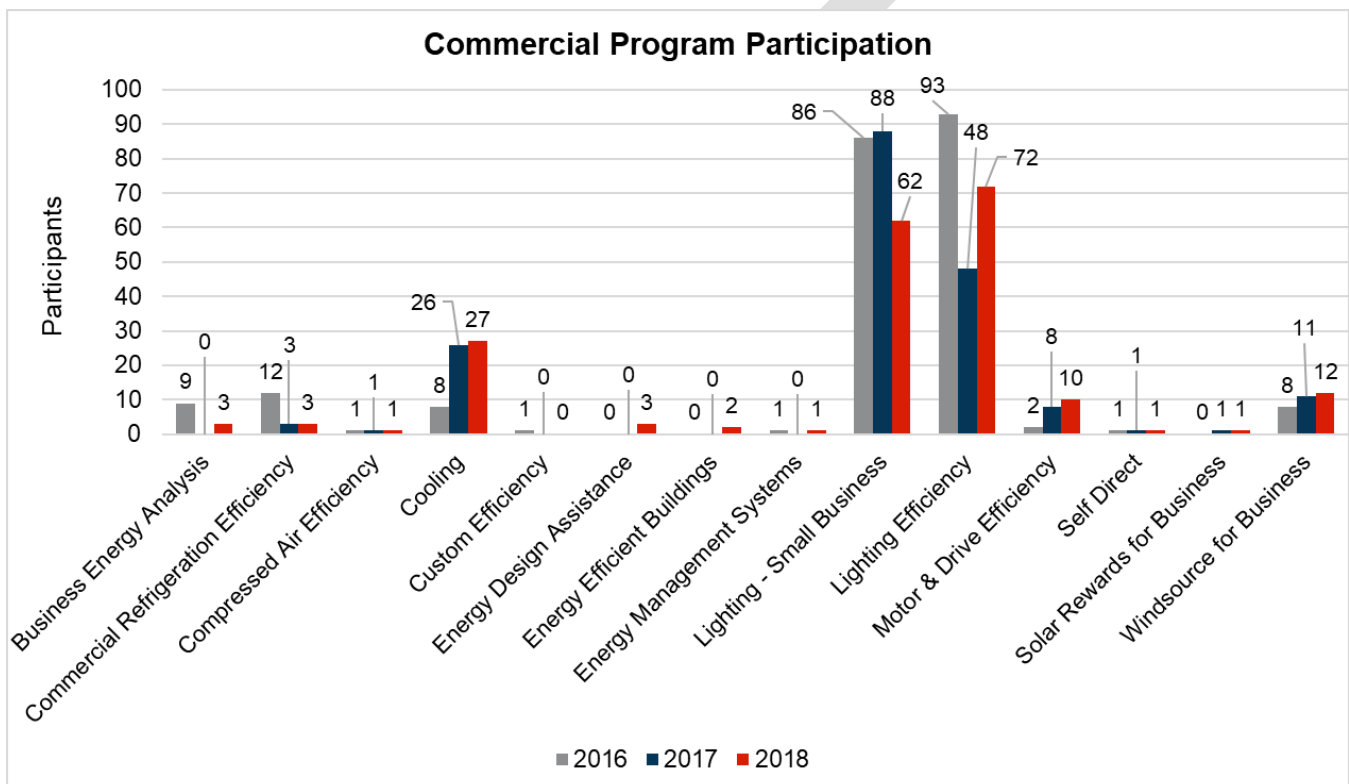


Figure 14. Three Year Commercial Program Participation

Goal

The City's goal for business energy efficiency is to encourage 270 businesses to participate in an energy efficiency or renewable energy program through Xcel Energy each year. This is a 35% increase over the 3-year average participation rate of about 200 businesses.

Impact

Achieving these goals would result in approximately 8.4 million kWh in electricity savings each year. This translates to approximately \$700,000 in energy cost savings and 4,200 metric tons of carbon dioxide equivalent (MTCO₂e) in greenhouse gas emissions reductions annually.

Focus Area 3: Educational Institutions

The energy use and energy savings from the facilities at Greeley's educational institutions is captured in commercial data, but these institutions play an integral role in developing a culture of conscientious use of resources in the community. This focus area included K-12 education as well as higher education institutions.

Goals

Develop outreach channels to students to 1) encourage energy efficiency behaviors, 2) increase understanding of electricity generation sources in Greeley, 3) establish internships to promote workforce development for energy efficiency and renewable energy fields, and 4) encourage student engagement with their community.

Impact

Quantifiable impact on energy use, cost savings, and greenhouse gas emissions will be captured in the data for residential and commercial efforts but working to develop a culture of resource conservation is invaluable in the long-term success of energy efficiency and renewable energy efforts.

Focus Area 4: Municipal

The City of Greeley already conserves energy by upgrading lighting to LED wherever feasible and incorporating energy efficiency into the design of new facilities. Although municipal facilities represent about 3 percent of energy use in Greeley (Figure 7), there is an opportunity to lead by example within City facilities to showcase a commitment to energy conservation and innovative technologies. Further, energy savings in these facilities has an impact on all Greeley community members by saving and making efficient use of taxpayer dollars.

Historical Program Participation

Community facilities program participation is included in commercial participation, which is shown in Figure 12. There are 274 total premises in the municipal category, including major and minor City of Greeley facilities such as the City Center, Island Grove, Greeley Urban Renewal Authority, water distribution, police, fire department, parks, and recreation.

Informing staff about energy use in buildings, providing small reminder cues like light switch stickers, and sharing potential energy savings with facility employees can help encourage participation in programs and foster a culture of energy conservation for those who may have busy schedules or who feel their actions will not have any impact.

Municipal Goals

The City's goal for municipal energy efficiency is to complete energy audits in targeted municipal facilities, and implement one energy measure in each targeted facility, as recommended by the energy audits.

Impact

Hitting these goals would reduce Greeley's electricity consumption by 21,000 kWh in the first year, translating to approximately \$1,500 energy cost savings and 12 MTCO₂e in greenhouse gas emissions reductions.

How Are We Going to Get There?

Strategies are specific actions Greeley will take to achieve its vision and goals. The Energy Action Team explored strategy concepts during its second and third workshops. To develop strategies, the team started by identifying one or two desired energy behaviors to encourage. Then they explored the benefits and reasons to participate in this behavior, as well as the top reasons and challenges preventing the behavior. Next, they brainstormed ways to address the identified challenges, examined what other opportunities and resources could be leveraged to communicate with target participants, and discussed other timing and resource considerations. With the ideas from the team discussions, the Partners in Energy facilitators drafted preliminary strategies for detailed review and refinement at the fourth workshop. Following the last workshop, the Partners in Energy facilitators worked with the Energy Action Team members individually to refine the strategies to address their comments and concerns.

Note that the strategies in this Energy Action Plan will include implementation support from the Partners in Energy facilitation team for a period of 18 months following the Energy Action Plan adoption. A Memorandum of Understanding (MOU) between the City of Greeley and Xcel Energy will detail the specific commitments of each entity and the implementation support provided.

Residential Strategies

For the residential sector, the desired behaviors identified included making smart energy choices and improvements at home (i.e., turning off the lights when not in use, upgrading to LED lights, and investing in high efficiency equipment when making upgrades). Benefits of engaging in these behaviors include lower energy costs, increased home comfort, and often longer lasting equipment. Reasons why residents may not engage in energy efficient behaviors or improvements include lack of time, lack of information or expertise, lack of financial resources to invest in home improvements, and for some rental or multi-family households, lack of control of their equipment.

To address these challenges, the Energy Action Team identified the importance of making things simple to participate and providing no and low-cost resources and technical expertise. Xcel Energy resources to leverage to address these challenges include the Home Energy Squad program, an assortment of residential equipment rebates, and free giveaways like conservation kits and LED bulbs. Other resources and opportunities to leverage include engaging school-aged students and aligning energy efficiency with other utility programs and conservation efforts (e.g., the Mayor's Water Challenge).

The residential strategies developed to leverage these resources and maximize community participation and benefits include (1) general outreach at community events/activities and (2) targeted residential outreach campaigns. The details for these strategies are outlined on the following pages.

Strategy 1: Community Events & Activities

Description

This strategy is designed to leverage existing community events and/or school activities to provide information about energy efficiency and renewable energy resources that are available to community members. The Energy Action Team will share information, provide collateral and giveaways, answer questions, and encourage participants to learn more about energy opportunities.

Targets

- Conduct outreach at up to four community events or activities annually
- Connect with at least 50 residents and engage 20 percent (10) in Xcel Energy programs with each event

Scope

The strategy begins with identifying community events or activities that are good candidates for energy outreach. Next, the team will recruit and confirm staffing for each event and develop materials to support event delivery. During events, the team will need to track metrics and interact with community members. Following events, the team will report metrics and share feedback to improve future events.

Responsible Parties

Leadership Roles:

- City of Greeley
 - Lead event/activity selection.
 - Identify City of Greeley staff to support each event.
 - Support material development and finalization.
 - Support event/activity planning and delivery.
- Partners in Energy
 - Support event/activity planning and delivery.
 - Lead material development and finalization.
 - Lead event volunteer training.
- Xcel Energy
 - Support material development and finalization.
 - Support event planning and delivery.

Potential Supporting Partners:

- Weld County Extension, University of Northern Colorado, Greeley School District, Aims Community College, Atmos Energy, Poudre Valley REA
 - Identify events that might be suitable to support outreach
 - Support event/activity planning and delivery
- Home Energy Squad®
 - Attend select events to share information about the offering and sign residents up for visits

Timeline

- Q4 2019 – Q2 2020
 - Identify potential events/activities for 2020
 - Confirm staffing and begin material development

Strategy 1: Community Events & Activities

- Q3-Q4 2020
 - Deliver event(s)
 - Identify events/activities for Q1-Q2 2021
- Q1-Q2 2021
 - Deliver event(s)
 - Discuss approach/need for ongoing event/activity delivery after Partners in Energy implementation support is complete

Resources

- Event/activity materials (e.g., flyers, tabling supplies, speaking points, giveaway prizes, etc.)
- Students and/or interns might be a potential option for event/activity staffing

Outreach Channels

- See Table 2. Local Outreach

Measurement

- Number of contacts made
- Number of materials distributed
- Enrollment for programs at/following events/activities

Strategy 2: Targeted Residential Campaigns

Description

This strategy involves developing three tailored outreach campaigns to reach different sectors of Greeley's residential community, including (1) cost-burdened homes including Spanish-speaking households, (2) students and rental households, and (3) households looking to fix up their homes and/or "green" their energy choices through renewable energy options.

The outreach campaigns will highlight how the sector can engage in different energy programs and benefit from various energy efficiency and renewable energy activities. To the extent possible, the campaigns will be aligned with other utility rebates and the Mayor's Water Challenge messaging and activities to maximize opportunities for residential conservation and renewable energy participation.

Targets

- Reach at least 2,500 cost burdened households and engage 125 (5 percent) in Xcel Energy programs. Targeted programs for this residential sector might include Home Energy Squad®, Energy Saving kits, and weatherization. Outreach materials will be provided in English and Spanish to include Spanish-speaking households.
- Reach at least 7,500 rental and/or student households and engage 375 (5 percent) in Xcel energy programs. Targeted programs for this residential sector might include Home Energy Squad®, Saver's Switch, and multi-family building efficiency improvements.
- Reach all of Greeley's 35,000 households and engage 2,160 (~6 percent) in Xcel Energy programs. Targeted programs for this residential sector might include Home Energy Squad® Plus, refrigerator and freezer recycling, high efficiency heating and cooling, and AC Rewards Windsource® and Solar Rewards.

Strategy 2: Targeted Residential Campaigns

Scope

Each outreach campaign would include customized community collateral that tailors messaging to the unique energy challenges of the sector, identifies the Xcel Energy programs that are most applicable/relevant to the sector, and highlights the benefits of taking action. Collateral to be developed includes flyers, website text, newsletter content, and social media content.

The Energy Action Team members will work with local organizations and trusted messengers to help disseminate materials and help spread the messages of the different outreach campaigns.

Responsible Parties

Leadership Roles:

- City of Greeley
 - Lead outreach campaign delivery through municipal communications channels (website, newsletters, social media, etc.)
 - Help support collateral development and finalization
- Partners in Energy
 - Lead collateral development and finalization
 - Support outreach campaign planning and delivery
- Xcel Energy, Atmos Energy and Poudre Valley REA
 - Support collateral development and finalization
 - Support outreach campaign planning and delivery

Potential Supporting Partners (support content development and help conduct outreach campaign through existing communication channels and activities):

- Student & Rental Outreach
 - Higher Education Institutions (e.g., Aims, UNC)
 - Greeley-Evans School District 6
 - Weld County Extension
- Cost-Burdened & Spanish Outreach
 - East Memorial community planning efforts
 - Energy Outreach Colorado
 - Catholic Charities – Weld County
 - Weld County Extension
 - Major employers (e.g., Swift, Leprino, etc.)
- Home Improvement & Green Energy Outreach
 - City of Greeley Code Compliance and Building Department
 - Contractors
 - Homeowners Associations
 - Greeley-Evans School District 6
 - Weld County Extension
 - Mayor's Water Challenge
 - Other local green or sustainability groups (e.g., Sierra Club, Northern Colorado Renewable Energy Society)

Strategy 2: Targeted Residential Campaigns

Timeline

- Q4 2019:
 - Identify and confirm partners for outreach campaigns
 - Finalize schedule for delivery of each targeted campaign
 - Begin material and campaign development
- Q1-Q2 2020:
 - Finalize materials and campaign details for campaign #1
 - Begin campaign #1
 - Plan campaign #2 and begin material development
- Q3-Q4 2020
 - Finalize materials and campaign details for campaign #2
 - Begin campaign #2
 - Plan campaign #3 and begin material development
- Q1-Q2 2021
 - Finalize materials and campaign details for campaign #3
 - Begin campaign #3
 - Discuss approach/need for ongoing campaign development and delivery after Partners in Energy implementation support is complete

Resources

- Event/activity materials (e.g., flyers, giveaway prizes, etc.)
- Students and/or interns might be a potential option for outreach support

Outreach Channels

- See Table 2. Local Outreach

Measurement

- Number of contacts made for each targeted sector
- Number of Conservation Kits distributed
- Program participation in targeted programs

Business Strategies

For the business sector, the desired behaviors identified included ensuring all equipment upgrades are energy efficient and companies invest in energy efficiency upgrades that make good business sense. Benefits of engaging in these behaviors include lower energy costs as well as increased reliability and productivity. Energy Action Team members identified a few reasons businesses may not make energy efficiency a focus of their business plan, which include lack of time to understand the benefits of efficiency upgrades and difficulty navigating the rebate process.

The main strategy to overcoming barriers to participation is to better connect the business community to the support staff available at their utility providers, which at Xcel Energy includes the account manager for larger accounts and the business solutions center representatives for smaller businesses. The City will also coordinate events to allow businesses to learn about the benefits of energy efficiency upgrades from each other. During these events, businesses can share energy efficiency upgrades they have done and highlight not only the cost benefits of these projects, but also any co-benefits from the project such as improved customer experience, reduced maintenance costs, or increased productivity.

Strategy 3: Annual Greeley Business Expo

Description

This strategy involves hosting a local event to highlight energy efficiency efforts of Greeley businesses and allow them to learn from each other. The event would be held at a local business that has a commitment to energy efficiency and could include a building tour to spotlight the hosts efficiency projects. There would also be one highlighted organization for that year that would give a short presentation about their project, lessons learned, co-benefits from project (e.g., increased production), and any next steps. Other organizations would be invited to have posters of their projects with some basic information: short project description, energy savings, incentives, co-benefits, and lessons learned (science fair style). While this event would focus on businesses in Greeley, there would be an open invitation to businesses in neighboring communities.

Local contractors specializing in HVAC, envelope upgrades, solar installations, and other energy efficiency or renewable energy work would also be invited. This will allow local contractors to understand what utility rebate programs are available that may support their businesses and help contractor connect to businesses looking to complete projects.

During the event there will be the large account manager(s) from Xcel Energy to engage with their accounts as well as representatives from the business solutions center to support unmanaged accounts. This event will be used to kick-off the year of outreach to a specific small business sector as described in Strategy 4. During the event, attendees would be asked to make a pledge to do something energy efficiency-related in the coming year.

Targets

- Engage 50 new businesses in efficiency programs including business energy analysis, commercial refrigeration efficiency, compressed air efficiency, cooling efficiency, lighting efficiency, recommissioning, custom efficiency, Solar Rewards®, and Windsource®.
 - Target 20 projects stemming from pledges at the event

- The remaining 30 projects will develop throughout the year as a result of conversations between peers and with contractors following this event.

Scope

- Determine event date, time and venue.
- Coordinate invitations through outreach channels identified.
- Plan event activities, which may include:
 - Facility tour
 - Project highlight – 10-15-minute presentation
 - Networking and posters for other projects
 - Sign a pledge for coming year. Pledges will be displayed on the wall and have a thermostat showing the number of pledges – set a goal based on RSVP list.
 - Incentivize employees to do something at home (e.g. reimburse 5 percent of employees to do HomeEnergy Squad visit, provide LED bulbs to all employees)
 - Compressed air study
 - Small business lighting/energy audit (free)
 - Other: opportunity for custom project pledge
 - In the second year, recognize companies that fulfilled their pledge.
 - Appropriate Xcel Energy account representatives
 - Use the reps to extend invitations to large users
 - Table with all utility Xcel Energy rebates and small business center representatives
 - Choose a sector to highlight options and target event outreach (e.g., restaurants, offices)
 - Representatives from Poudre Valley REA and Atmos Energy with program and rebate information.
- Hold the event.
- Solicit feedback to inform future event planning.

Responsible Parties

Leadership Roles:

- City of Greeley
 - Community Engagement: Lead outreach campaign delivery through municipal communications channels (website, newsletters, social media, etc.).
 - Facilities: Provide an example project poster based on recent efforts.
 - Economic Development and Business Licensing: Support outreach efforts.
- Partners in Energy
 - Organize event logistics.
 - Support event delivery.
- Xcel Energy, Atmos Energy and Poudre Valley REA
 - Provide outreach support for invitations
 - Representatives at the event to help customers with available opportunities

Potential Site Hosts:

- University of Northern Colorado
- City of Greeley
- WeldWerks Brewery
- Leprino (not a Partners in Energy stakeholder but strong commitment to sustainability that other Energy Action Team members referenced)

Timeline

This event will be used to kick-off implementation phase.

- January/February 2020
 - Choose event time/date/location
 - Identify outreach strategies
 - Send out invitations
 - Identify business to present featured efficiency project
 - Invite other businesses to create posters for their projects
 - Provide poster template
 - Request required data/info for poster development
- March/April 2020
 - Send out event reminders
 - Create and print posters
 - Coordinate event logistics (food, chairs etc.) as needed
 - Hold event
- Summer 2020
 - Review event
 - What went well
 - What should change next year
 - Outline schedule for next year's event based on review including potential of ongoing support from City staff, Xcel Energy, Chamber, and other local business organizations.

Resources

- Need to explore venue options that will work for a group and accommodate a possible facilities tour.
- Plan for tables, refreshments, collateral materials.
- Explore potential door prizes or giveaways from utility providers.

Outreach Channels

- Xcel Energy: Large account managers
- Chamber
- DDA
- City Twitter
- City Facebook
- Business license counter
- Economic development department

Measurement

- Number of attendees

- Number of pledges for action
- Energy and cost savings from projects showcased

DRAFT

Strategy 4: Sector-based Small Business Outreach

Description

Partner with the Downtown Development Authority and Chamber of Commerce to incorporate presentations on benefits of energy efficiency and renewable energy projects at your business highlighting available rebates and other funding opportunities. The target will be to provide 3-4 presentations in 2020 each focusing on a different business sector: 1) restaurants, 2) small offices, 3) retail, and 4) eco-friendly companies. The target audiences may be adjusted based on interest from the business community.

Targets

- Engage 20 small or medium-sized businesses in programs relevant to presentations (likely energy audits, small business lighting, lighting efficiency, motor and drive efficiency, Windsource®, and cooling efficiency).

Scope

- Identify existing or potential new DDA and/or Chamber activities or events that would be suitable for presentations.
- Develop presentation content and supporting collateral materials.
- Deliver presentations and follow-up with participating businesses and others in target sector.

Responsible Parties

- Partners in Energy
 - Develop presentation content and lead or support presentations.
- Xcel Energy, Atmos Energy and Poudre Valley REA
 - Provide information on applicable programs and channels for business support.
 - Support presentation delivery.
- Chamber and DDA
 - Provide meeting space and room on agenda for standing meetings.
 - Outreach to business community to attend presentations.

Timeline

Present schedule of presentations at the Greeley Business Expo in Spring 2020 and target one presentation per quarter.

- Q1 2020: Restaurant Energy Efficiency
 - Low/no cost operational adjustments
 - Prioritizing equipment upgrades
 - How can energy efficiency improve customer and employee experience?
- Q2 2020: Small Office Energy Efficiency
 - Low and no cost operational adjustments
 - Best investments
 - Employee engagement
 - How does energy efficiency affect productivity?
- Q3 2020: Retail Energy Efficiency
 - Low/no cost operational adjustments
 - Best investments

- How to use energy efficiency to improve customer experience and boost sales.
- Q4 2020: Eco-Friendly Businesses
 - Renewable energy options
 - EV charging infrastructure
 - How to highlight your commitments to grow your brand.

At the end of the year, evaluate the effectiveness of the presentations and feedback from the community. If good success and strong support for continuing the series, plan next year's presentations and work on lining up presenters.

Resources

- Meeting space
- Rebate and other program materials
- Refreshments for meetings

Outreach Channels

- Chamber
- DDA
- City Twitter
- City Facebook

Measurement

- Number of businesses contacted
- Number of workshop participants

Educational Institution Strategies

The educational institution focus area includes not only energy efficiency upgrades to the institution's facilities, but also engaging students to promote energy efficiency and renewable energy. Benefits of energy efficiency upgrades in facilities include utility cost savings and often an improved learning environment for students. Educational institutions are often long-term building occupants, so energy efficiency upgrades are often a longer-term benefit that reduce ongoing operating costs. The resulting utility cost savings can often be used to reinvest in student learning opportunities or other building upgrades. Major barrier for implementation of energy efficiency measures can be upfront capital and staff time required to identify efficiency upgrades. By taking advantage of energy audit programs provided by Xcel Energy, staff time to identify and vet possible projects is significantly reduced and financial assistance in the form of rebates is also available.

Strategy 5: Student Engagement

Description

The educational institutions will outreach to students to build a culture of resource conservation in Greeley. This outreach might include information and kits to increase energy efficiency in their homes, involving campus groups in outreach events identified in this plan, and/or internship opportunities with energy efficiency or renewable energy partners.

Targets

- Engage 5,000 students in Energy Action Plan activities.

Scope

- Outreach to students at move-in day and/or orientation to provide information of activities they can do to support energy efficiency and renewable energy in Greeley.
- Provide information about low-income programs to students through orientation or financial assistance offices.
- Work with institutions to identify opportunities for Green Teams or other campus groups to support Energy Action Plan implementation, including supporting residential outreach as appropriate.
- **University of Northern Colorado:** Provide campus tours of mechanical areas to educate students on complexities of HVAC and plumbing systems, where energy is used, and what measures have been implemented to improve energy efficiency. Possible partnership with Greeley School District.

Responsible Parties

- Xcel Energy Partners in Energy
 - Coordinate student orientation outreach and provide materials.
 - Coordinate campus teams and provide training on supporting plan initiatives.
- Educational Institutions (UNC, AIMS, Greeley-Evans School District 6)
 - Provide outreach materials to students during orientation.
 - Identify on campus teams that may want to help with plan implementation.

Timeline

- Spring Semester 2020: Engage Student Groups
 - Identify student groups interested in supporting plan activities.

Strategy 5: Student Engagement

- Engage groups in expo planning.
- Student outreach during spring events as applicable.
- Fall Semester 2020: Student Outreach
 - Through strategy 1 outreach to new students about energy efficiency and renewable energy options in their new rental homes.
 - Engage on-campus teams to encourage participation.

At the end of the year, evaluate the effectiveness of student engagement programs and revise the programs as needed for implementation next year.

Resources

- A Campus liaison for each participating institution will help ensure success.

Outreach Channels

- University of Northern Colorado
- Greeley School District
- AIMS Community College

Measurement

- Number of students engaged

Strategy 6: Targeted Energy Audits

Description

Leverage Xcel Energy's audit program to schedule and complete audits in the largest and most energy intensive buildings on the institution's campus. Coordinate with facilities staff to develop a priority list of improvements per the audit reports. Once prioritized, staff will have the option to choose one energy efficiency project to complete each year and to keep a record of resulting savings to build success stories to share within and outside the community. Consider using local contractors to perform energy efficiency improvements to maximize local economic benefits and workforce growth. For facilities under 50,000 square feet, Xcel Energy offers free energy audits to identify opportunities for energy savings.

Targets

- Each institution will perform 1 energy audit at a targeted facility.
- Implement at least 1 identified energy efficiency measure in every targeted facility.

Scope

- Identify targeted facilities.
- Schedule energy audits.
- Prioritize energy project list based on results.
- Identify funding for one priority project.
- Establish a timeline for completion.

Strategy 6: Targeted Energy Audits

Responsible Parties

- Educational Institutions (UNC, AIMS, Greeley-Evans School District 6)
 - Identify targeted facilities for audits and make final determination of energy projects to implement.
- Xcel Energy Partners in Energy
 - Support identification of targeted facilities list and support energy audit review for prioritization of opportunity and costs.

Timeline

- Coordination with Xcel Energy to begin in 2019
- Target 2020 for audits

Resources

Xcel Energy offers on-site energy audits at varying costs dependent on building size to evaluate lighting, heating, cooling and motors & drives equipment and provides energy conservation opportunities and associated costs, rebates, savings and payback:

- Buildings <50,000 square feet: Free
- Buildings 50,000 – 150,000 square feet: \$250
- Buildings > 150,000 square feet: \$500

Funding to cover cost of audit and any capital improvements resulting from the audit is to be determined by each institution.

University of Northern Colorado

The University has used a combination of funding sources including performance contracting and reinvesting energy rebates to fund past energy efficiency efforts. Energy efficiency audits and the identified projects will likely be funded by similar mechanisms.

Outreach Channels

The University of Colorado has historically learned about energy efficiency opportunities through the following channels. These successful outreach channels will be used to share additional opportunities and outreach to other educational institution:

- Xcel Energy account representative
- ESCO's funding (performance contracting)

Measurement

- Number of audits performed
- Number of efficiency projects completed – savings will be captured in commercial energy data.

Municipal Strategies

For the municipal sector, the desired behaviors identified include ensuring equipment upgrades as well as designs for the construction of new facilities are efficient and increasing the focus of highlighting past successes in efficiency through various media outlets. Benefits of engaging in these behaviors include lower energy and operating costs, decreased cost of installation through incentives, and increased recognition of the City of Greeley as an energy-conscious community. Reasons why municipalities may not engage in energy efficient behaviors or improvements include a time-intensive utility incentive process and lack of information or expertise navigating the rebate programs.

To address these challenges, the Energy Action Team will involve key decision makers in conversations around energy efficiency and will seek opportunities to inform and use local contractors who are familiar with rebate processes and programs to facilitate energy efficiency implementation. Outlined below are strategies that the City of Greeley will focus on to improve energy efficiency in municipal buildings and facilities.

Strategy 7: Targeted Energy Audits

Description

Leverage Xcel Energy's audit program to schedule and complete audits in the largest and most energy intensive municipal facilities. Xcel Energy will work with City staff to develop a priority list of improvements per the audit reports. Once prioritized, the City will aim to complete at least one efficiency project per facility. They will keep a record of resulting savings to build case studies and success stories to share within and outside the community – ideally these savings will be leveraged to complete other municipal energy improvement projects as well. The City will also consider using local contractors to perform energy efficiency improvements to maximize local economic benefits and workforce growth.

Additionally, Xcel Energy will partner with the City of Greeley through their Strategic Energy Management Program to coordinate project implementation through engagement with City staff to help Greeley overcome challenges associated with efficiency projects. This program offers rebate assistance to ensure that rebate opportunities are captured and benefits to the City are maximized. In addition, for facilities under 50,000 square feet, Xcel Energy offers free energy audits to identify opportunities for energy savings.

Targets

- Perform 1 energy audit for each targeted municipal property in Greeley.
- Implement at least 1 identified energy efficiency measure in every targeted facility.

Scope

- Identify targeted City of Greeley facilities.
- Schedule energy audits at targeted facilities.
- Prioritize energy project list based on results.
- Choose top projects to implement each year.
- Coordinate with local contractors to complete projects and take advantage of Xcel Energy program opportunities.

Strategy 7: Targeted Energy Audits

- Coordinate with local educational institutions to engage student population in an opportunity to learn and gain experience in performing audits by including interested students on audit walkthroughs, calculations, etc.

Responsible Parties

- City of Greeley
 - Identify targeted City of Greeley facilities for audits, and schedule audits and complete the energy audits.
 - Once audits are complete, City of Greeley to make final determination of energy projects to implement.
 - Track savings from energy efficiency improvement projects to inform case study development.
- Partners in Energy
 - Support identification of targeted facilities list and support energy audit review for prioritization of opportunity and costs.
 - Support case study development to showcase improvements at City facilities.
- Xcel Energy
 - Utilize the Strategic Energy Management Program to partner with City staff on energy saving opportunities, facilitating rebate opportunities.

Timeline

- Coordination with Xcel Energy is ongoing
- Q1 2020: Audit applications and scheduling
- Q2-4 2020: Audit completion and review

Resources

Xcel Energy offers on-site energy audits at varying costs dependent on building size to evaluate lighting, heating, cooling and motors & drives equipment and provides energy conservation opportunities and associated costs, rebates, savings and payback:

- Buildings <50,000 square feet: Free
- Buildings 50,000 – 150,000 square feet: \$250
- Buildings > 150,000 square feet: \$500

For smaller buildings, Xcel Energy offers recommissioning tune-up audits, identifying low- and no-cost measures for existing systems, dependent on building size:

- Buildings 5,000 – 25,000 square feet: \$250
- Buildings 25,001 – 50,000 square feet: \$500

Partners

- Xcel Energy
- Partner with educational institutions in support of Strategy 5

Outreach Channels

- City Social Media

Strategy 7: Targeted Energy Audits

- City eNewsletter
- Other news sources, PR

Measurement

- Metered building energy data used to track impact and verify savings
- Number of audits performed

Strategy 8: New Construction Process Alignment**Description**

Develop a well-defined process for City staff to follow from proposal to occupancy to better integrate energy efficiency and renewable energy program and rebate opportunities into new development projects. Xcel Energy offers project development assistance and coordination and new construction rebates at various milestones in the process. City staff, Xcel Energy, community members and prospective businesses in Greeley will benefit from unified messaging and process alignment through this strategy.

With timely and ongoing coordination, project electric capacity concerns can be addressed upfront to inform preliminary development proposals. Once project design begins, Xcel Energy can provide several resources along the way to help developers save energy and build resiliency over the life of the project.

Targets

- All major development proposals and projects receive information about Xcel Energy programs as well as other applicable rebate programs from Atmos Energy and Poudre Valley REA.

Scope

- Develop and provide a summary of coordination points between Xcel Energy and City of Greeley during development and construction processes.
- Identify and train City of Greeley staff on Xcel Energy rebate program opportunities at various process phases.

Responsible Parties

- City of Greeley
 - Coordinate with Xcel Energy at ongoing utility coordination and/or key site coordination meetings.
 - Identify and communicate development opportunities and proposals to Xcel Energy on an ongoing basis.
- Partners in Energy
 - Support and/or facilitate training to City of Greeley on Xcel rebate program opportunities.
- Xcel Energy Representatives
 - Lead training and outreach for City staff.
 - Assist City of Greeley on rebate program identification.

Timeline

- Q4 2019

- Begin coordination by utilizing existing monthly utility coordination and/or key site coordination meetings.
- Q1 2020
 - Research and discuss coordination opportunities and potential process improvements.
- Q2 2020
 - Provide a summary of development/construction coordination points between Xcel Energy and City of Greeley.
 - Conduct City of Greeley staff training if necessary.

Outreach Channels

- City of Greeley website
- Utility coordination and development review meetings

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How Are We Going to Stay on Course?

The Energy Action Team has worked hard to develop ambitious and achievable goals that align with the energy vision. To achieve the targets and energy goals outlined in this plan, the City of Greeley and its partners identified in the strategies above will work to maintain consistent and clear communication among themselves and with the community at large. Each strategy will have sub-teams that will communicate regularly to work out the details of implementation, carry through on identified actions, and share progress and results. In the first months of implementation, the Energy Action Team will meet as a large group via online meetings to ensure effective group coordination and communication.

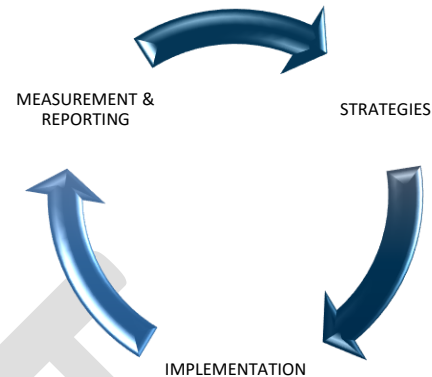


Figure 15. Actions and Tracking

Operational Actions and Tracking

Partners in Energy staff will track Xcel Energy program participation data and associated electricity savings for Greeley on a bi-annual basis (typically February and August) and will report out on quantifiable progress. Once a year (typically February) the Partners in Energy staff will provide a summary of total electricity consumption for the community.

Each strategy leader or team also will track supplemental quantitative and qualitative information about implementation, such as number of activities, number of materials distributed, event dates, and estimated participants, etc.

Communication and Reporting

The City of Greeley and other community organizations have established communication channels as outlined previously in this plan. The Energy Action Team and Partners in Energy facilitators will coordinate the use of the various communication channels to support the strategies with outreach efforts, updates, progress, and successes.

At the end of the implementation support period, the Partners in Energy team will provide a summary of the progress made, including quantitative and qualitative estimates of impacts on energy goals.

Changing Course: Corrective Action

Even though this Energy Action Plan is designed for greatest impact over the next 18 months, the residual effect and momentum gained by showcasing efficiency, raising awareness, and leveraging resources will have long-term positive implications. An effective energy plan is cyclical in nature (see Figure 15). In addition, the nature of implementation requires staging, flexibility, and course adjustments when necessary to be successful and to sustain progress. To ensure this plan remains on track, the Energy Action Team will review bi-annual tracking information and compare it against any supplemental strategy tracking metrics and information to assess whether the efforts appear to be making an impact.

To accommodate the fluid nature of action and implementation and learn from experience early in the process, the regularly scheduled team meetings as well as the bi-annual data check-ins will be a forum for

agreeing on course adjustments or new approaches necessary to hit plan targets. Any adjustments will be documented and shared with the broader group and community as they occur.

During the implementation period, the best process for obtaining involvement from team members will be determined and lined up with appropriate cycles. These may include budget cycles, school calendars, start of the heating season, etc. As these cycles and the appropriate review points in these cycles are incorporated, there may be different times of the year that specific elements may change, and at a minimum there should be at least one time every year for the major stakeholders to review progress, weigh in, and suggest changes to direction.

Sharing Progress

Strategies outlined in this plan have methods for measuring and recognizing success; however, it will be important to let the wider community know how things are progressing and to recognize the collaborative efforts of those involved in hitting the plan targets. At critical milestones, the City of Greeley and Xcel Energy will publish updates on progress, share successes, and congratulate participants and partners through various communication channels.

Beyond the Plan Horizon

Looking forward beyond the plan horizon, it is recommended that Greeley reassess the energy efficiency goals and successes achieved over the implementation period. Future updates to this plan may be necessary as goals are achieved and new energy opportunities and ideas emerge. Communities with a successful track record of implementing their goals are welcome and encouraged to apply to future Partners in Energy offerings if new community goals or opportunities arise.

Appendix 1: Glossary of Terms

Use whichever appendices are appropriate. The following is a preliminary glossary.

Community Data Mapping: A baseline analysis of energy data in a geospatial (map) format across the community.

Demand Side Management (DSM): Modification of consumer demand for energy through various methods, including education and financial incentives. DSM aims to encourage consumers to decrease energy consumption, especially during peak hours or to shift time of energy use to off-peak periods, such as nighttime and weekend.

Direct Installation: Free energy-saving equipment installed by Xcel Energy or other organization for program participants that produces immediate energy savings.

Energy Action Plan: A written plan that includes an integrated approach to all aspects of energy management and efficiency. This includes both short- and long-term goals, strategies, and metrics to track performance.

Greenhouse gas (GHG): Gas in the atmosphere that absorbs and emits radiant energy within the thermal infrared range (primary GHGs include water vapor, carbon dioxide, methane, nitrous oxide, and ozone); GHGs are associated with affecting climate change.

Goals: The results toward which efforts and actions are directed. There can be a number of objectives and goals outlined to successfully implement a plan.

HOA: Home owners' association.

HVAC: Heating, ventilation and air conditioning.

LED: light-emitting diode.

kW: kilowatt (1,000 watts); a unit of electric power.

kWh (kilowatt-hour): A unit of electric consumption

MMBtu: One million British Thermal Units; a measure of energy content in fuels.

MTCO₂e: Metric tons of carbon dioxide equivalent (MTCO₂ Eq.); measure used to compare the emissions from different greenhouse gases based on their global warming potential (GWP). The carbon dioxide equivalent for a gas is derived by multiplying the tons of the gas by its associated GWP.

MW: Megawatt (1 million watts); a unit of electric power.

Premise: A unique identifier for the location of electricity or natural gas service. In most cases, it is a facility location. There can be multiple premises per building and multiple premises per individual debtor.

Recommissioning: An energy efficiency service focused on identifying ways that existing building systems can be tuned-up to run as efficiently as possible.

RFP: Request for proposals (solicitation of services).

Solar Garden: Shared solar array with grid-connected subscribers who receive bill credits for their subscriptions.

Solar PV: Solar cells/panels that convert sunlight into electricity (convert light, or photons, into electricity, or voltage).

Subscription: An agreement to purchase a certain amount of something in regular intervals.

Therm: A unit of heat energy (natural gas).

Weatherization: Insulation, air sealing, weather stripping, etc., that improve the building envelope.

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Appendix 2: Implementation Memorandum of Understanding

To be added for City Council review and hearing.

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