



# PLANNING COMMISSION

## Agenda

November 22, 2016

1025 9<sup>th</sup> Avenue  
District 6 Administration Building  
School Board Meeting Room  
1:15 p.m.

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**I. Call to Order**

**II. Approval of minutes for meeting held on November 8, 2016**

**III. A public hearing to consider a request by Colorado Premium Food for a Use by Special Review for a 19,879 square foot building expansion in the I-M (Industrial Medium Intensity zone district. The property is located 205 feet west of US Highway 85 and 465 feet north of 22<sup>nd</sup> Street on approximately 3.642 acres.**

Project Name: Colorado Premium Foods Expansion USR  
Case No.: USR 17:16  
Applicant: Colorado Premium Properties, LLC  
Location: 2035 2<sup>nd</sup> Avenue  
Presenter: Marian Duran, Planner I

**IV. A public hearing to consider a request by Family of Christ Church for a Use by Special Review for an expansion of church use, specifically locating a new structure on the site to allow for offices and accessory uses. The property is located in the R-L (Residential Low Density) zone district.**

Project Name: Family of Christ Church USR  
Case No.: USR 12:16  
Applicant: Family of Christ Church  
Location: 2410 35<sup>th</sup> Avenue  
Presenter: Brett Walker, Planner III

**V. Staff Report**

**VI. Adjournment**

**PLANNING COMMISSION UPCOMING MEETINGS:**

Unless otherwise noted, all hearings are held at 1:15 p.m. at the District 6 Administration Building, School Board Meeting Room, 1025 9<sup>th</sup> Avenue, Greeley, Colorado

December 13, 2016

December 27, 2016

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## **PLANNING COMMISSION Proceedings**

**November 8, 2016**

**1025 9<sup>th</sup> Avenue  
District 6 Administration Building  
School Board Meeting Room  
1:15 p.m.**

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### **I. Call to Order**

Chair Hall called the meeting to order at 1:15 p.m. Commissioners Rarick, Andersen, Yeater and Mirick were present. (Commissioners Schulte and Weaver were absent.)

### **II. Election of Chair**

Commissioner Rarick moved to nominate Dale Hall as Chair. Commissioner Andersen seconded the motion. The motion carried 5-0. (Commissioners Schulte and Weaver were absent.)

### **III. Election of Vice Chair**

Commissioner Mirick moved to nominate Jon Rarick as Vice Chair. Commissioner Yeater seconded the motion. The motion carried 5-0. (Commissioners Schulte and Weaver were absent.)

### **IV. Approval of minutes for meeting held on October 25, 2016**

Commissioner Rarick moved to approve minutes for the meeting held on October 25, 2016. Commissioner Andersen seconded the motion. The motion carried 5-0. (Commissioners Schulte and Weaver were absent.)

**V. A public hearing to consider a Use by Special Review for a self-serve outdoor RV, boat and personal vehicle storage facility on Lot 2 of the Gallery Green III 1<sup>st</sup> Replat. The property is zoned C-H (Commercial High Intensity) and contains approximately 1.82 acres.**

Project Name: 31<sup>st</sup> Avenue Self-Storage at Ashcroft USR  
Case No.: USR 19:16  
Applicant: Ashcroft Self-Storage, LLC  
Location: North of the Intersection of 31<sup>st</sup> Avenue and 29<sup>th</sup> Street  
Presenter: Paul Whalen, Planner III

Paul Whalen addressed the Commission and entered the staff report into the record. He indicated that the staff report should be amended to refer to the applicant as Storeitwise rather than Landco.

Mr. Whalen presented maps showing the location of the subject site and the zoning of surrounding properties. He also presented several photographs of the site as well as a site plan showing the layout of the proposed facility that would support approximately 35 spaces for RV and boat storage. A landscape plan was presented and Mr. Whalen advised that landscaping would be installed to screen the site from adjacent properties. He added that a perimeter fence would be also installed to provide security. Mr. Whalen noted the location of a detention pond on the southeast portion of the site.

Mr. Whalen described the approval criteria for a Use by Special Review and stated that the proposal meets the requirements. He noted minimal traffic impact to be generated from the site. Notices were sent to property owners within 500 feet. Mr. Whalen received a few inquiries, but no comments in support or against the project. Staff recommended approval of the application.

Commissioner Mirick asked whether there were any requirements for the tops of the parking canopies to be made of non-reflective material. Mr. Whalen deferred to the applicant for a response.

Matt Notter from Roche Constructors, 361 71<sup>st</sup> Avenue, addressed the Commission on behalf of the applicant. He stated that the applicant had initially proposed solar covered canopies, but decided to forego them due to cost constraints. He stated that the canopies would be painted metal with a possible solar component in the future.

Chair Hall opened the public hearing at 1:29 p.m.

June Terry, 2858 31<sup>st</sup> Avenue, addressed the Commission. Ms. Terry stated that she lives north of the site and has no issue with the proposed project. She noted the steep slope at the back of the lot and asked how water runoff would be addressed. Ms. Terry also requested that enough trees be installed to provide a sufficient buffer.

Lee Brooks, 1439 38<sup>th</sup> Avenue, addressed the Commission on behalf of the Greeley Elks Club that is situated adjacent to the subject property. He stated that they were glad to see someone taking over the property, but shared similar concerns with the previous speaker. Mr. Brooks noted that the property has been altered by the dumping of excessive amounts of dirt. His expressed concern about the potential for flooding of the Elks facility in the event the detention pond could not handle runoff.

The public hearing was closed at 1: 32 p.m.

Mr. Whalen addressed the Commission in response to the question about a landscape buffer. He noted the existence of a retaining wall along the back of the property and added that trees and shrubs would be located in such a manner to provide screening as they mature. Commissioner Mirick asked whether the trees would provide a mix of deciduous and evergreen varieties. Mr. Whalen stated that the proposed plantings complied with the City's approved tree list and would enhance the overall character of the site.

T. J. Heupel, Staff Engineer, addressed the Commission and responded to the drainage question posed by Mr. Brooks. He noted that the drainage plan is under review and has not been finalized, but would be in place prior to construction. Mr. Heupel reported that dirt would be removed from the site and that the site would be flattened. He added that water will run from the northwest portion of the site to the southeast and into the detention pond and on to the existing drainage swale, providing adequate protection to properties downstream.

There was brief discussion about approving the USB without having full engineering plans. There was also further discussion about the importance of adequate drainage on the site. Mr. Heupel reiterated that the detention pond will release at the same rate after construction and added that the swale has the capacity to handle drainage.

Commissioner Rarick made a motion that, based on the application received and the preceding project summary and analysis, the Planning Commission finds that the request for a proposed Use by Special Review for an outdoor RV/boat/personal vehicle storage facility of 1.82 acres in the C-H (Commercial High Intensity) zone district meets the approval criteria found in Sections 18.20.070(a), Items 1 through 5, and 18.46.175 of the Development Code, and all applicable Zoning District Development Standards and, therefore, approves the request. Commissioner Yeater seconded the motion.

Commissioner Rarick commented that, if approved, there would be three storage facilities in the vicinity and asked that the Comprehensive Plan continue to be taken into consideration as we move forward in order to prevent the area from becoming saturated with storage facilities.

The motion carried 5-0. (Commissioners Schulte and Weaver were absent.)

## **VI. Staff Report**

Brad Mueller, Community Development Director, briefly reviewed some of the elements of the quasi-judicial nature of proceedings. There was discussion about asking questions to obtain clarification as opposed to providing an opinion. Susan Henderson, Assistant City Attorney, added that questions and responses should be an attempt to make the public record more clear.

Mr. Mueller reported that an upcoming worksession would be scheduled to provide an overview of design standards. Chair Hall reminded Commissioners to advise staff if they are unable to attend a hearing. There was general discussion about the mailing of packets and delay of receiving them. Mr. Mueller advised that staff would look in to the issue.

## **VII. Adjournment**

The meeting was adjourned at 2:02 p.m.

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Dale Hall, Chair

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Brad Mueller, Secretary

## PLANNING COMMISSION SUMMARY

**ITEMS:** Use by Special Review (USR) for a building expansion (Industrial Use) in the I-M (Industrial Medium) Zone District

**CASE NO:** USR 17:16

**PROJECT:** 2035 2<sup>nd</sup> Avenue – Colorado Premium Foods Expansion

**LOCATION:** 2035 2<sup>nd</sup> Avenue

**APPLICANT:** Colorado Premium Properties, LLC

**CASE PLANNER:** Marian Duran, Planner I

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**PLANNING COMMISSION HEARING DATE:** November 22, 2016

**PLANNING COMMISSION FUNCTION:**

Review the proposal for compliance with Section 18.20.070, Review Criteria/Uses by Special Review of the Development Code and either approve, approve with conditions, or deny the request.

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**EXECUTIVE SUMMARY**

The City of Greeley is considering a request by Colorado Premium Properties, LLC, for a Use by Special Review (USR) for a building expansion of approximately 19,879 square feet in the I-M (Industrial Medium Intensity) Zone District on approximately 5.329 acres of land (inclusive of lots 6,7,8, and 9). The subject site improvements are proposed to be made on 2035 2<sup>nd</sup> Avenue, approximately 205 feet west of US 85, and 465 feet north of 22nd Street (*see Attachment A – Existing Zoning Map & Attachment B – Aerial Vicinity Map*). Property addressed 2111 2<sup>nd</sup> Avenue is approximately 1.687 acres in size.

**A. REQUEST**

The applicant is requesting a USR approval for a building addition of 19,879 square feet square feet in the I-M (Industrial Medium) Zone District on approximately 5.329 acres (*see Attachment C – Site Plan & Attachment D – Elevations*).

**B. STAFF RECOMMENDATION**

Approval

**C. LOCATION**

**Abutting Zoning & Land Uses:**

North: I-M (Industrial Medium) Office Condos  
South: I-M (Industrial Medium) Auto Shop  
East: I-M (Industrial Medium) 2<sup>nd</sup> Ave & US 85  
West: I-M (Industrial Medium) Warehouse/Light Manufacturing

### **Site Characteristics**

The parcel is developed with an industrial use building.

### **BACKGROUND**

The property was annexed and subdivided in 1963 with the Greeley Industrial Subdivision Annexation. The property was zoned to M-1 (Medium Manufacturing District) in 1971, and the building was built in 1975. The property was then reclassified to 1-2 (Medium Industrial) in 1980, and then again in 1998 to I-M (Industrial Medium Intensity) and has remained an industrial/manufacturing site since it was constructed. The properties mentioned are proposed to be subdivided, and the application is forthcoming.

The applicant proposes to expand the Colorado Premium Foods (CPF) building by adding 19,879 square feet, to the existing 44,262 square feet facility (*see Attachment E – Narrative*). The subject property is located at 2035 2nd Avenue, and is a total of approximately 5.329 acres in size (inclusive of lots 6,7,8, and 9).

CPF's primary business is the production of corned beef products, steak portions, and co-packing. CPF markets to retail and industrial service companies, and provides fresh, frozen or consumer-ready meats. CPF's cooler has a capacity for approximately 600,000 pounds of product; however, approximately 300,000 pounds of products are loaded onto external refrigerated trailers because the current production exceeds the cooler's capacity. Placing the product in trailers is costly and inefficient, mainly due to the double handling, trailer rental, fuel usage, and space requirements. The applicant has stated that the building addition would exponentially save CPF time and money and would not increase their existing production. The addition is required to meet all setback standards and all site improvements such as parking lot repaving, a perimeter treatment and sidewalk improvements. All required improvements will be met on the both parcels.

### **D. APPROVAL CRITERIA**

#### ***DEVELOPMENT CODE COMPLIANCE – Use by Special Review***

- 1) Uses by Special Review possess characteristics which require a public hearing to determine if a proposed use has the potential to adversely affect other land uses, transportation systems, public facilities, or the like in the surrounding neighborhood. The Planning Commission may require conditions of approval necessary to eliminate or mitigate, to an acceptable level, any potentially adverse effects of the proposed use.

Section 18.20.070 (a) of the Development Code contains five criteria that are used to evaluate uses by special review:

#### **1. The proposed use shall be consistent with the Comprehensive Plan.**

The following City of Greeley 2060 Comprehensive Plan policies apply to this request.

Comprehensive Plan Policy LU4.B.4.ii

*Design and construct medium-industrial uses to promote the functional and appealing use of materials, building orientation, and other site improvements that are complementary to adjacent development*

Staff Comment: With the proposed addition, the applicant is required to include site improvements such as parking lot repaving, new pavement areas, street trees and a sidewalk along 2<sup>nd</sup> avenue, which would offer safer pedestrian accessibility. The building addition is proposed to be compatible in material and colors with the existing building and the surrounding buildings. The proposed site improvements would also be complimentary to adjacent development and compatible with properties within the vicinity.

This request complies with this Comprehensive Plan policy.

Comprehensive Plan Policy EC4.B.2

*Encourage reinvestment in and improvement of older industrial areas to maintain and improve their economic vitality, appearance and performance.*

Staff Comment: CPF deals with local harvesters to create a variety of products to regional and local businesses, and is partnered with locally owned businesses such as JBS. The proposed expansion would facilitate their production levels as they pursue to continue to serve the local economy. The expansions benefit their business and the business of others economically because of their potential increase in performance and productivity levels.

This request complies with this Comprehensive Plan policy.

- 2. The location, size, design, and operating characteristics of the proposed use shall be compatible with the existing and future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses in the vicinity. Reasonable conditions may be placed on uses by special review to protect the public health, safety, and welfare by mitigating impacts to achieve compatibility and complementary design, especially where a nonresidential use is located adjacent to a residential use.**

Staff Comment: The applicant indicates that the quantity of food production means that their economic stability is a stimulator for the local

economy; however, their facility is unable to accommodate the additional 300,000 pounds of meat products produced during the peak season in their existing facility. The additional produce has necessitated the need to expand the proposed addition at 2035 2<sup>nd</sup> Avenue to facilitate their production handling.

The building expansion is required to adhere to the architectural infill standards of the Development Code, which requires the building to be architecturally compatible with the existing building (*see Attachment D – Elevations*). Additionally, the applicant is required to include an official release of the railroad easement per the Union Pacific Railroad’s requirements, so that they can construct the improvements as proposed. Although this release of easement is not typically required prior to Planning Commission hearing, it gives staff the ability to release all building permits, if Planning Commission were to approve this request.

As an alternative compliance the required landscaping would be installed on Colorado Department of Transportation (CDOT) right-of-way (ROW). The proposed ROW landscaping and new pedestrian sidewalk along 2<sup>nd</sup> Avenue meets Development Code standards. See Section F. 6 below for further details.

City services should not be impacted as a result of the expansion of the building addition and it would not be detrimental to the public health, safety, and welfare of existing uses within the vicinity.

The request complies with this criterion.

**3. The site shall be physically suitable for the type and intensity of the proposed land use.**

Staff Comment: The site is suitable to accommodate a 19,789 square foot building addition. All water detention and parking requirements would be maintained on site. Moreover, the proposed land use should not adversely affect traffic flow or parking in the neighborhood, as it has sufficient space to accommodate CPF employees during their work shifts.

The request complies with this criterion.

**4. The proposed land use shall not adversely affect traffic flow or parking in the neighborhood.**

Staff Comment: Access to the site would remain off of 2<sup>nd</sup> Avenue from the applicants existing egress and ingress points. As a result of the addition, the applicant is required to provide 120 parking spaces on site. The proposed land use shall not adversely affect traffic flow or parking in the neighborhood as it has sufficient space to accommodate all employee and visitor parking. The building addition will generate new or more traffic, since the number of employees will not increase. Please see additional information about traffic under Section F, 6 below (*see Attachment C – Site Plan*).

The request complies with this criterion.

**5. The location of other approved uses by special review in the neighborhood shall be determined so that a concentration and/or cumulative effect of such uses can be evaluated.**

Staff Comment: Colorado Premium Foods has been in operation since it was constructed in 1975. The subject site is in the general vicinity of other industrial uses that have been approved through a USR or would be required to go through a USR with the current Development Code standards. Nevertheless, staff determines that the building addition would not create a negative cumulative impact to the neighborhood, given the infrastructure and services associated with nearby Highway 85.

The proposal complies with this criterion.

**2) Use by Special Review applications shall also be reviewed to ensure that all of the applicable development standards of Chapter 18.38, Zoning District Development Standards, have been met, as well as any applicable overlay district provisions.**

Staff Comment: The Zoning District Development Standards found in Chapter 18.38 mainly regulate open space, lot coverage, building and structure setbacks, and building height. The proposed plan and accompanying design is consistent with these standards. There are no overlay district provisions for this property.

The proposal complies with this criterion.

**3) In addition to those criteria and requirements listed in Sections 18.20.070 (a) and (b), special review applications shall meet all applicable General Performance Standards found in Chapter 18.40, Parking Standards found in Chapter 18.42, Landscaping and Buffering Standards in Chapter 18.44, all applicable Design Review Performance Standards in Chapter 18.46 and if applicable, Accessory and Temporary Uses, Structures and Building in Chapter 18.52, Areas of Ecological**

**Significance, Chapter 18.48, Hillside Standards in Chapter 18.50, and Overlay Districts in Chapter 18.34.**

Staff Comment: The proposal demonstrates compliance with the applicable items: 1) General Performance Standards (screening roof-top mechanical units); 2) Parking Standards (proposed to accommodate 120 parking spaces on site, including ADA accessible parking spaces); 3) Landscaping and Buffering Standards (perimeter treatment along 2<sup>nd</sup> Avenue) (*see Attachment F – Landscape Plan*); and, 4) Structures and Buildings Standards (setbacks required and would be met) (*see Attachment D – Elevations*). It would meet all applicable Design Review Performance Standards and Infill Standards in that the structure is proposed to be compatible with the existing building and would be sensitive to the surrounding uses within the vicinity.

The proposal complies with this criterion.

**F) PHYSICAL SITE CHARACTERISTICS**

**1. SUBDIVISION HISTORY**

A minor subdivision application was recorded in May 26, 1964 (Recordation No. 1437000). File number does not exist. The applicant is proposing to aggregate lots 6, 7, 8 and 9, with a minor subdivision land use process.

**2. HAZARDS**

Staff is unaware of any potential hazards that presently exist on the site.

**3. WILDLIFE**

The site is not located in an area identified for moderate or high wildlife impacts as this site has been occupied for over 40 years.

**4. FLOODPLAIN**

According to the FEMA Flood Insurance Rate Map (FIRM) Community Panel No. 0820266 0002 dated September 28, 1990, the property is not located within the 100-year floodplain, and according to the adopted Federal Emergency Management Administration (FEMA) flood data.

**5. DRAINAGE AND EROSION**

Stormwater drainage flows west to east/northeast across the existing site. Some of the existing stormwater is captured in on-site inlets and piped to a storm pipe running along the east side of the site, while the remainder generally flows east on the surface to 2nd Avenue right-of-way. This stormwater drainage then flows north and east through a series of public storm pipes and drainage channels until it reaches the Cache La Poudre River. The proposed condition does not alter this existing drainage pattern.

Stormwater detention is not provided on the existing site and is not required due to the proposed improvements. This determination was made based on an analysis of existing condition versus proposed condition impervious areas. The analysis was performed separately by the applicant's Engineer and City Staff, and both analyses showed an insignificant increase in impervious area when comparing the proposed condition to the existing condition. These results are due to the fact that the proposed building addition is located within existing paved areas, and the area of proposed paved surface (high imperviousness) is offset with proposed landscaping (low imperviousness).

## **6. TRANSPORTATION**

The proposed project would not increase the production volume of the facility, and Colorado Premium Foods has indicated that they would not be hiring any additional employees once the proposed improvements are made. Therefore, a formal Traffic Impact Study was not required by the City.

The proposed project would, however provide several improvements that benefit the existing 2nd Avenue roadway:

- Number of existing access points would be reduced from seven (7) to three (3) along the east side of the site, reducing the number of conflict points where vehicles enter and exit the site.
- The relocated truck entrance places the gate further from the roadway, so that trucks entering the site can completely exit the roadway prior to stopping at the gate. Trucks are therefore less likely to impede 2nd Avenue.
- A pedestrian sidewalk would be provided along the west side of 2nd Avenue adjacent to the site.

## **G) SERVICES**

### **1. WATER**

The applicant proposes to utilize the existing water stub services for the building addition and for the landscape irrigation on site.

### **2. SANITATION**

The applicant proposes to use the existing sewer services on site (see section G, 1, above).

### **3. EMERGENCY SERVICES**

City services should not be impacted, since the existing building is currently receiving city services. The nearest fire station is the Greeley Fire Department Station 4, located at 2191 1st Ave, is approximately .40 miles away, or within a 2 minute driving distance. There is a police station located at 2875 West 10<sup>th</sup> Street, approximately 3.8 miles away, or within an 11 minute driving distance.

## **H) NEIGHBORHOOD IMPACTS**

### **1. VISUAL**

A perimeter treatment (tree lawn) would be installed to mitigate any visual impact onto the property from the east. The appropriate tree lawn and sidewalk would be provided along 2<sup>nd</sup> Avenue. The landscaping would consist of a mixture of shade and evergreen trees (see Attachment F – Landscape Plan).

## **2. NOISE**

The proposed use is not anticipated to be the source of noise or other incompatible conditions that may be objectionable or detrimental to other properties since most of the properties are industrial uses, nor is it believed that a significant increase in noise generated by the proposed use would occur. The applicant states that by eliminating the need to operate the coolant trailers 24-hours a day outside of the existing building, with the building expansion the noise levels would reduce significantly. Any potential noise generated by this development, however, will be regulated by the Municipal Code.

## **I) PUBLIC NOTICE AND COMMENT**

Letters regarding the public hearing for the proposed Use by Special Review were mailed on November 8, 2016 to property owners within 500 feet of the subject site.

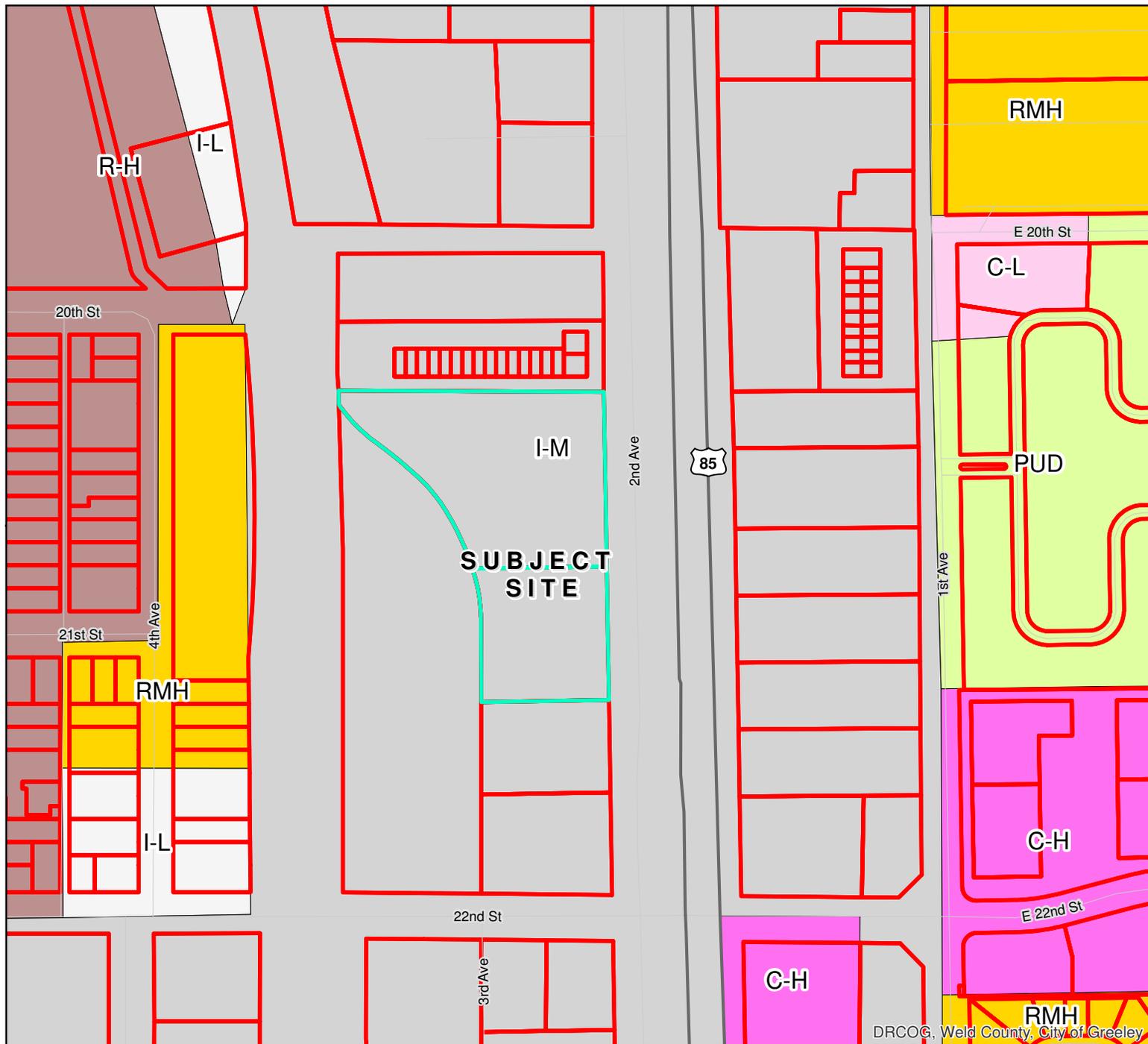
Two signs were posted at the site along 2<sup>nd</sup> Avenue on November 10, 2016, pursuant to Development Code requirements. To date, no comments have been received.

## **J) PLANNING COMMISSION RECOMMENDED MOTION**

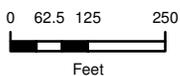
Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Use by Special Review request for a building addition of approximately, 19,879 square feet in the I-M (Industrial Medium Intensity) Zone District on approximately 5.329 acres of land meets the Development Code Section 18.20.070(a) (Items 1 through 5); and therefore, approve the Use by Special Review.

## **ATTACHMENTS**

- Attachment A – Existing Zoning Map
- Attachment B – Aerial Vicinity Map
- Attachment C – Site Plan
- Attachment D – Elevations
- Attachment E – Narrative
- Attachment F – Landscape Plan



Created: November 7, 2016  
 By: duranm, CD  
 File: 2035\_2ndAvenueCPF.mxd



## 2035 2nd Avenue Colorado Premium Foods

Approximately 205 feet west of US 85,  
 and 465 feet north of 22nd Street

### Legend

- Subject Site
- Greeley Parcels
- Commercial Low Intensity (C-L)
- Commercial High Intensity (C-H)
- Industrial Low Intensity (I-L)
- Industrial Medium Intensity (I-M)
- Planned Unit Development (PUD)
- Residential Medium Density (R-M)
- Residential High Density (R-H)
- Residential Mobile Home (RMH)

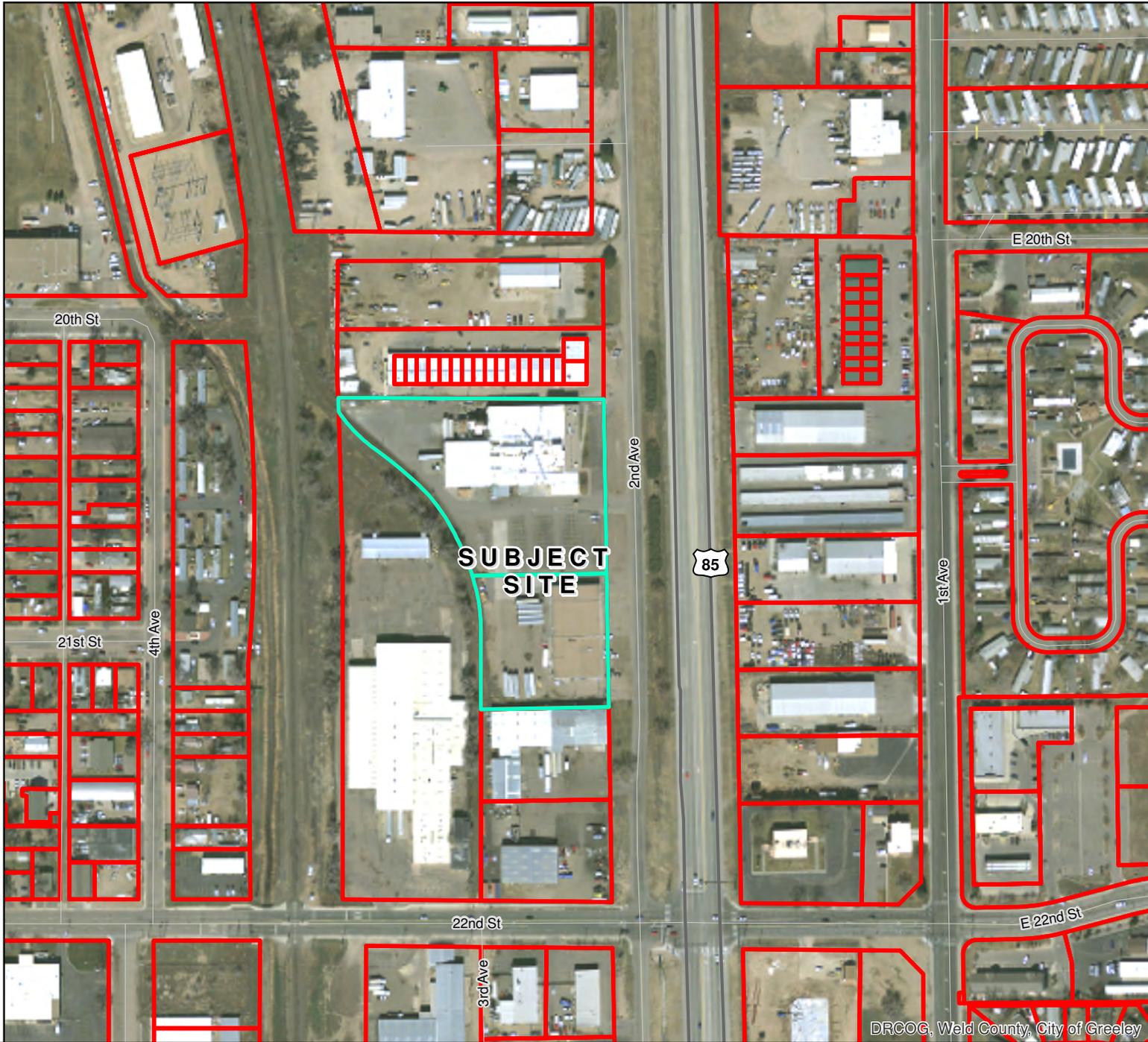
### Notes:

All planimetric data was digitized from aerial photographs dated 1987, 1992, 1995, 2000, 2005, and 2014. Updates are continual and data representations will change over time. This product is not necessarily accurate to engineering or surveying standards but does meet National Mapping Accuracy Standards (NMAS). The information contained within this document is not intended to be used for the preparation of construction documents.

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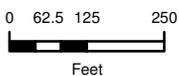
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DRCOG, Weld County, City of Greeley



Created: November 7, 2016  
 By: duranm, CD  
 File: 2035\_2ndAvenueCPF.mxd



## 2035 2nd Avenue Colorado Premium Foods

Approximately 205 feet west of US 85,  
 and 465 feet north of 22nd Street

### Legend

-  Subject Site
-  Greeley Parcels

#### Notes:

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Construction must be in accordance with applicable City of Greeley Construction Standards. The City's acceptance allows for plan distribution and permit application. The City's acceptance shall not relieve the design engineer's responsibility for errors, omissions, or design deficiencies for which the City is held harmless.

Accepted by: \_\_\_\_\_ Date \_\_\_\_\_  
 City Engineer

Accepted by: \_\_\_\_\_ Date \_\_\_\_\_  
 Community Development Director

## PARCEL DESCRIPTION

A PARCEL OF LAND BEING LOTS 6-9  
 BLOCK 1 OF GREELEY INDUSTRIAL PARK SUBDIVISION  
 BEING LOCATED IN THE EAST HALF OF SECTION 17,  
 TOWNSHIP 5 NORTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
 CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO

UTILITY PROVIDER	NAME	PHONE	EMAIL	ACCEPTED BY	DATE
COMCAST	BILL BLAIR	(720)490-3891	Bill_Blair@comcast.com		
ATMOS	CHRISTINE MCDERMOTT	(970) 304-2080	christine.mcdermott@atmosenergy.com		
CENTURYLINK	CARSON ORTEGA	(970) 392-4837	carson.ortega@centurylink.com		
XCEL	PAT KREAGER	(970) 395-1270	pat.kreager@xcelenergy.com		

- NOTES:
- POTABLE WATER AND SANITARY SEWER SERVICES AND DISTRIBUTION/COLLECTION MAINS SHALL HAVE A MINIMUM TEN (10) FEET HORIZONTAL AND EIGHTEEN (18) INCHES VERTICAL SEPARATION FROM ALL UTILITIES MEASURED FROM OUTSIDE DIAMETER.
  - WHERE SANITARY SEWER LINES CROSS BENEATH POTABLE WATER LINES WITH LESS THAN EIGHTEEN (18) INCHES CLEARANCE, SANITARY SEWER LINES CROSS ABOVE POTABLE WATER LINES, OR THE TEN (10) FEET HORIZONTAL CLEARANCE BETWEEN POTABLE WATER LINES AND SANITARY SEWER LINES CANNOT BE MAINTAINED, THE ENCASEMENT SHALL BE DESIGNED AND CONSTRUCTED SO AS TO PROTECT THE POTABLE WATER MAIN.
  - THE MINIMUM CLEARANCE BETWEEN STORM DRAIN AND WATER, IN OPEN CUTS, EITHER ABOVE OR BELOW, SHALL BE EIGHTEEN (18) INCHES. IN ADDITION, WHEN A WATER LINE LIES BELOW A STORM LINE, OR WITHIN TWENTY-TWO (22) INCHES ABOVE, THE STORM LINE JOINTS SHALL BE GROUTED FOR A MINIMUM OF TEN (10) FEET ON EACH SIDE OF THE CROSSING. STORM LINE SHALL BE INSTALLED SO THAT A JOINT IS NOT DIRECTLY ABOVE OR BELOW THE WATER MAIN.
  - ALL DRY UTILITY CONDUIT CROSSINGS OF POTABLE WATER, SANITARY SEWER AND NON-POTABLE IRRIGATION LINES SHALL BE ENCASED IN HIGH DENSITY POLYETHYLENE (HDPE) PIPE, WITH MINIMUM STANDARD DIMENSION RATIO (SDR) 11, ACROSS THE ENTIRE EASEMENT OR RIGHT-OF-WAY WIDTH. THE ENCASEMENT JOINT SHALL BE BUTT FUSED. FLEXIBLE JOINTS ARE NOT ALLOWED.
  - PRIOR TO EXCAVATION AND CONSTRUCTION OVER AND NEAR THE EXISTING WATER AND SEWER MAINS, PLEASE CONTACT THE WATER AND SEWER DEPARTMENT RIGHT-OF-WAY STAFF AT (970) 350-9791, TO COMPLETE THE APPLICABLE DOCUMENTATION TO WORK WITHIN THE RIGHT OF WAY AND EASEMENTS.
  - THE CONTRACTOR SHALL RESTRICT WORKING HOURS TO BETWEEN 7:00 AM AND 6:00 PM ON NORMAL CITY OF GREELEY BUSINESS DAYS UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE CITY.

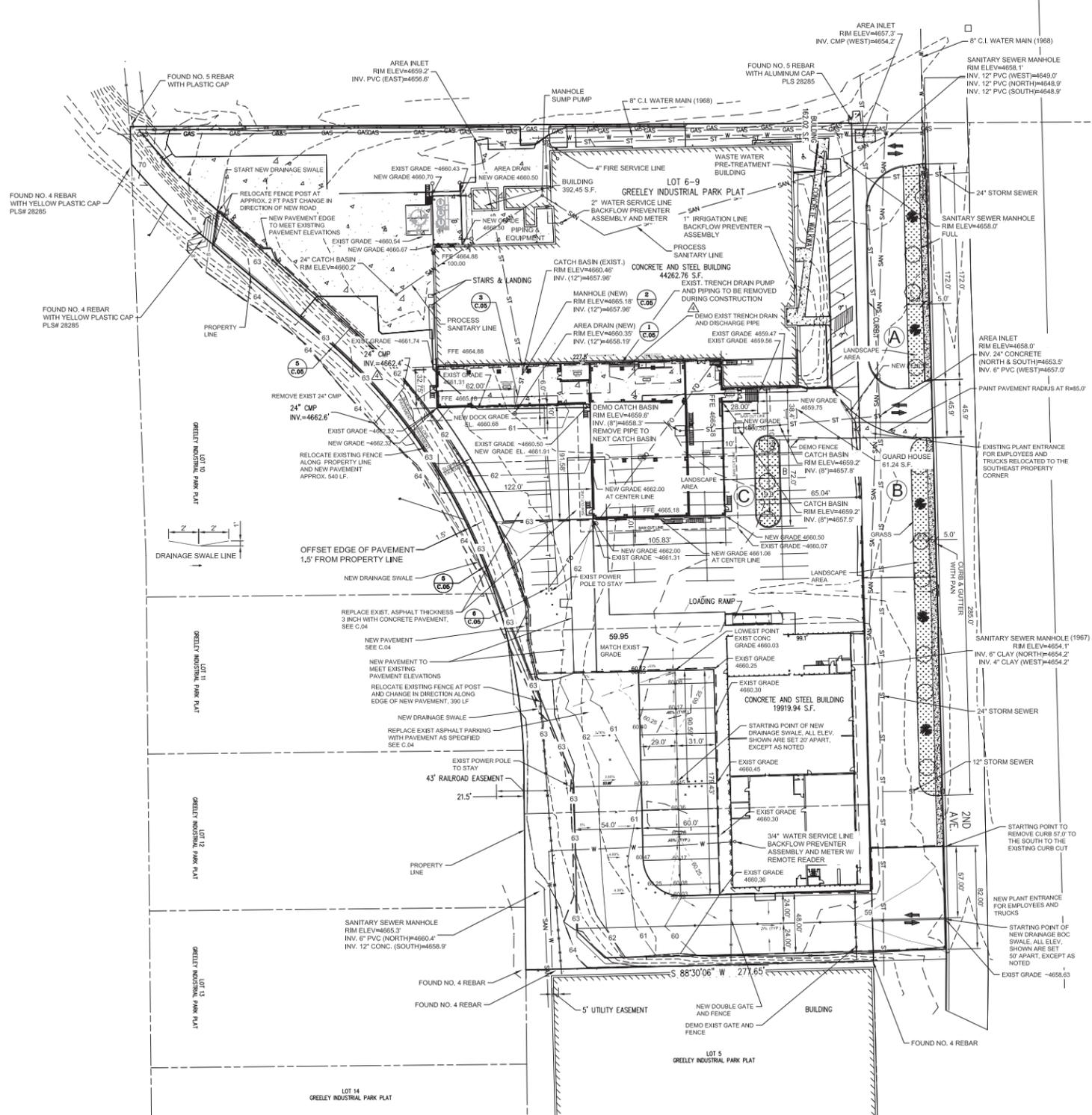
- GENERAL NOTES:
- THIS DRAWING IS ON MODIFIED STATE PLANE COORDINATES (CO STATE PLANE NORTH ZONE) TO REDUCE TO GRID COORDINATES. MULTIPLY BY 0.9997369575 (1.00026304) ABOUT THE ORIGIN 0,0.
  - HORIZONTAL DATUM: COLORADO STATE PLANE COORDINATES NORTH ZONE, NAD 83 DATUM. HORIZONTAL CONTROL BASED UPON OPUS SOLUTION OF CP.1. NORTHING=1391616.16555 EASTING=3228232.08472
  - VERTICAL DATUM: NAVD 88. VERTICAL CONTROL BASED ON CITY OF GREELEY BENCHMARK 120. BENCHMARK IS LOCATED ALONG THE UNION PACIFIC RAILROAD 1.25 MILES SOUTH OF THE STATION. ELEVATION=4674.77.
  - THIS SITE IS NOT WITHIN A DESIGNATED F.E.M.A. FLOODPLAIN, AS DETERMINED BY THE FLOOD INSURANCE RATE MAP FOR WELD COUNTY, COLORADO, PANEL NUMBER 1543 OF 2250, MAP NUMBER 08123C1543E, EFFECTIVE DATE JANUARY 20, 2016.

### LEGEND

	PROPERTY BOUNDARY
	LOT LINE
	EASEMENT
	VACATED EASEMENT
	EDGE OF ASPHALT
	EDGE OF GRAVEL
	CONCRETE
	EDGE OF BUILDING
	CHAIN LINK FENCE
	GAS LINE
	STORM SEWER
	OVERHEAD UTILITY
	WATER LINE
	FIBER OPTIC
	SANITARY SEWER

	SANITARY MANHOLE
	WATER METER
	IRRIGATION CONTROL VALVE
	BOLLARD
	ROOF DRAIN
	BUILDING LIGHT
	BUILDING VENT
	CLEAN OUT
	ELECTRIC PANEL
	FIRE HYDRANT
	POWER POLE
	WATER VALVE
	LIGHT POLE
	FOUND PROPERTY PIN AS DESCRIBED
	SET #5 X 18" REBAR WITH 1-1/4" ORANGE PLASTIC CAP, PLS 38285
	GUY WIRE
	HANDICAP PARKING
	TITLE COMMITMENT NUMBER
	PARKING SPACES
	EOA EDGE OF ASPHALT
	EOC EDGE OF CONCRETE
	FL FLOWLINE
	AREA OF CONCERN



PROPERTY	SF	CDOT
IMPERVIOUS AREA:	212,597	11,943
PERVIOUS AREA:	28,410	28,857
TOTAL AREA:	241,007	38,770

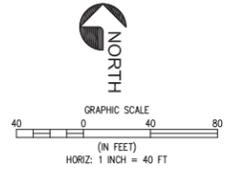
PROPOSED PROPERTY SITE SURFACE SUMMARY:	SF	CDOT
IMPERVIOUS AREA:	221,437	14,091
PERVIOUS AREA:	19,370	28,679
TOTAL AREA:	241,007	38,770

PERVIOUS AREA DIFFERENCE:	SF
EXISTING:	28,410
PROPOSED:	19,370
DIFFERENCE:	8,840

- ### CONSTRUCTION NOTES
- REMOVE FENCE ALONG WEST PROPERTY LINE AND GRADE SITE AREA TO INSTALL ACCESS PAVEMENT AROUND NEW ADDITION FOR SEMI-TRAILER TRUCK TRAFFIC TO EXISTING TRUCK DOCKS ON THE NORTHWEST CORNER OF THE PROPERTY.
  - PLUG EXISTING PIPE OPENING FROM REMOVED STORM DRAIN PIPE FROM THE WEST. DEMO STORM DRAIN FROM THE WEST.
  - REPLACE EXISTING DETERIORATED ASPHALT PAVEMENT WEST SIDE OF SOUTH BUILDING TO REBUILD PARKING LOT FOR POSITIVE DRAINAGE SLOPE.
  - REMOVE EXISTING PAVEMENT FOR AND CONSTRUCT THE NEW ADDITIONS ALONG THE SOUTH SIDE OF THE NORTH BUILDING AND AT THE NORTHWEST CORNER OF THE NORTH BUILDING AND CONSTRUCT NEW BUILDINGS.
  - CONSTRUCT NEW LANDSCAPE AREAS AROUND THE SITE AND CONSTRUCT A NEW 5' WIDE SIDEWALK ALONG THE WEST EDGE OF 2ND AVENUE.
  - RELOCATE THE PLANT AND EMPLOYEE ENTRANCE FROM THE MIDDLE OF THE SITE OFF OF 2ND AVE. TO THE SOUTHEAST CORNER OF THE PROPERTY AND REMOVE THE EXISTING GUARD SHACK.

**1**  
 C.04  
**SITE PLAN**  
 SCALE: 1" = 40'



REV	ISSUE:	DATE:	DRWN:	APRV:
1	FOUNDATIONS ISSUED FOR CONSTRUCTION	4/29/2016	RKH	RKH
2	SITE AND DRAINAGE ISSUED FOR CONSTRUCTION	5/31/2016	RKH	JAS
3	PAVEMENT CHANGES AROUND SOUTH BLDG'S REV.	7/1/2016	RKH	RKH
4	CHANGES PER CITY REVIEW	8/12/2016	RKH	RKH
5	GENERAL REVISIONS	9/12/2016	RKH	RKH

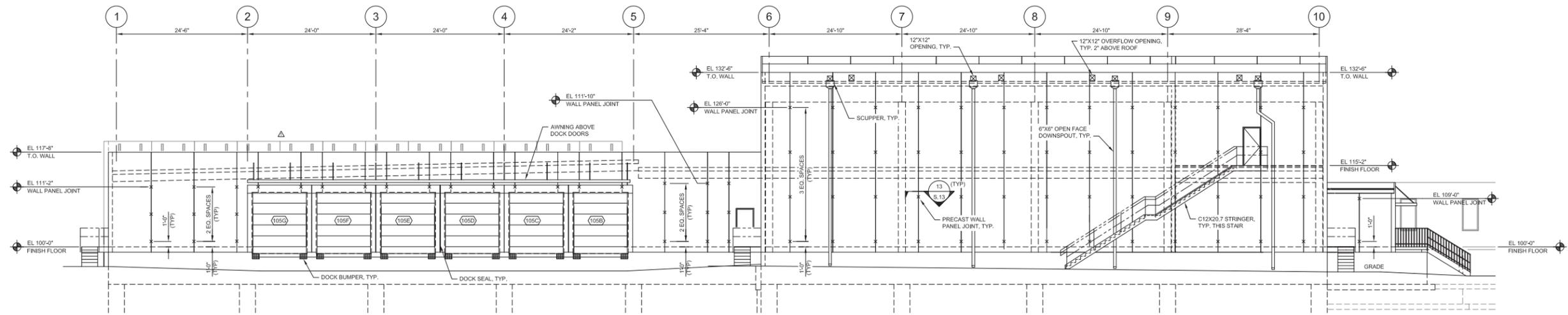
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR MARKING OF UNDERGROUND MEMBER UTILITIES.

**Schneider Structural Engineering, Inc.**  
 12925 West Dodge Road Suite 104  
 Omaha, Nebraska 68154  
 \* Phone: 402-592-1160 \* Fax: 402-331-4269 \*

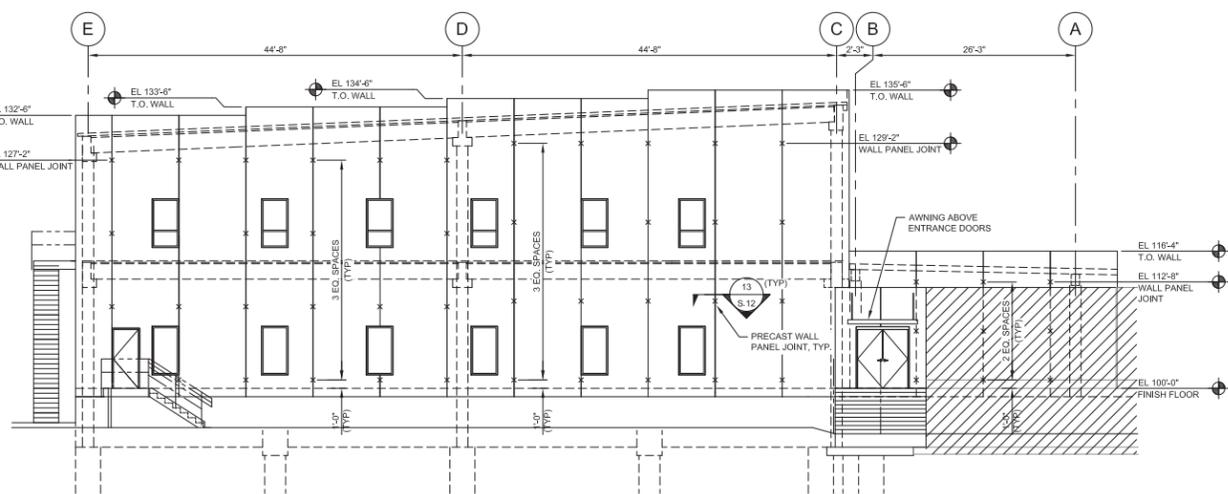
**MPC COLORADO PREMIUM COLORADO COOLER ADDITION SITE DRAWING**

Project Number	16003	Rev	As Shown	Date	8/12/2016	Scale	As Shown	Sheet	C.02	Total	4
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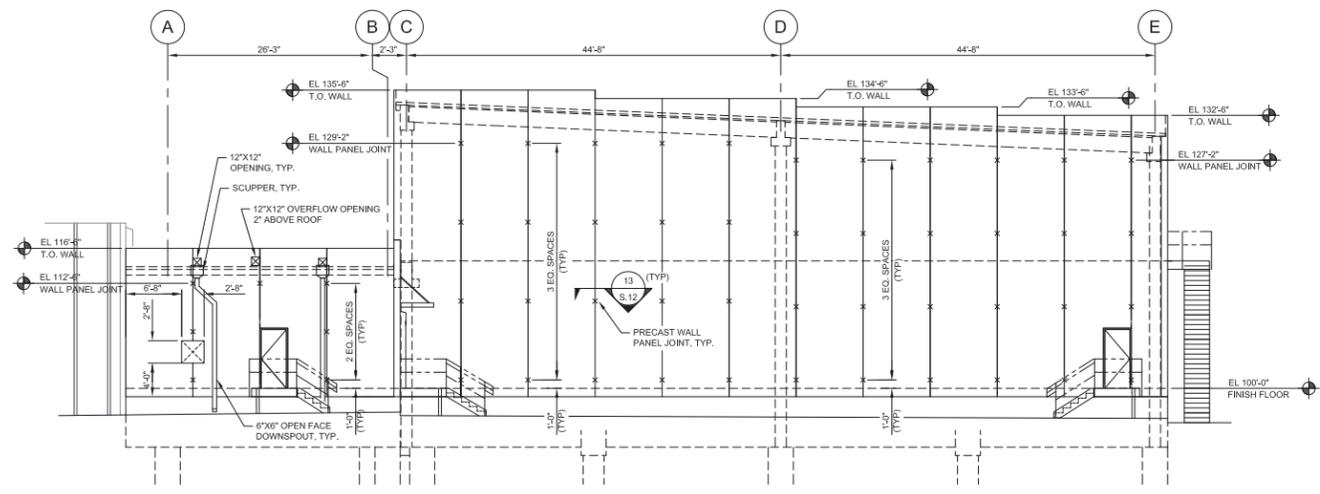
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**1 SOUTH ELEVATION**  
 G.04 SCALE: 1/8" = 1'-0"



**2 EAST ELEVATION**  
 G.04 SCALE: 1/8" = 1'-0"



**3 WEST ELEVATION**  
 G.04 SCALE: 1/8" = 1'-0"

Approved: \_\_\_\_\_ DATE: \_\_\_\_\_  
 Brad Mueller, Community Development Director

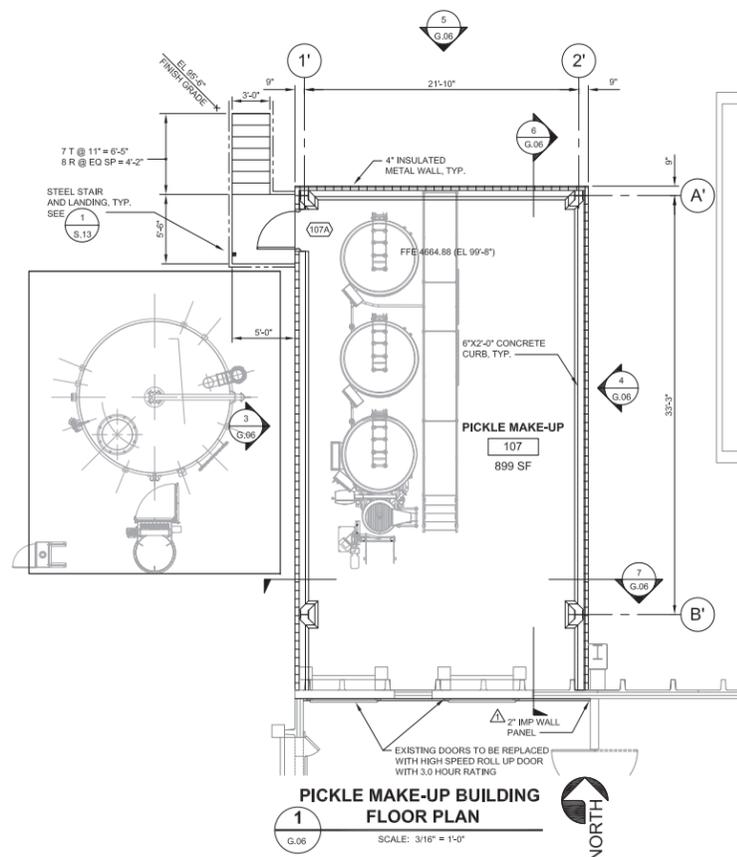


REV	ISSUE	DATE	DRWN	APRV
1	ISSUED FOR CONSTRUCTION	6/7/2016	TEL	RDS
2	REVISE DOCK DOORS SIZES AND PANEL WIDTHS AND DOCK PIT DEPTH	8/12/2016	TEL	RDS
3	SIGNATURE BLOCK ADDED	9/12/2016	TEL	RDS

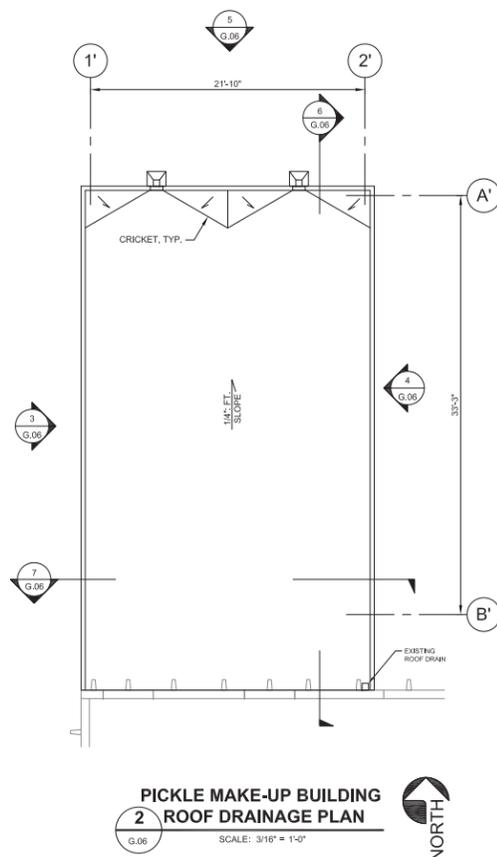
**Schneider Structural Engineering, Inc.**  
 12925 West Dodge Road, Suite 104  
 Omaha, Nebraska 68154  
 Phone: 402-692-1160 Fax: 402-331-4289

**MPC COLORADO PREMIUM COLORADO**  
**COOLER ADDITION**  
**BUILDING ELEVATIONS**

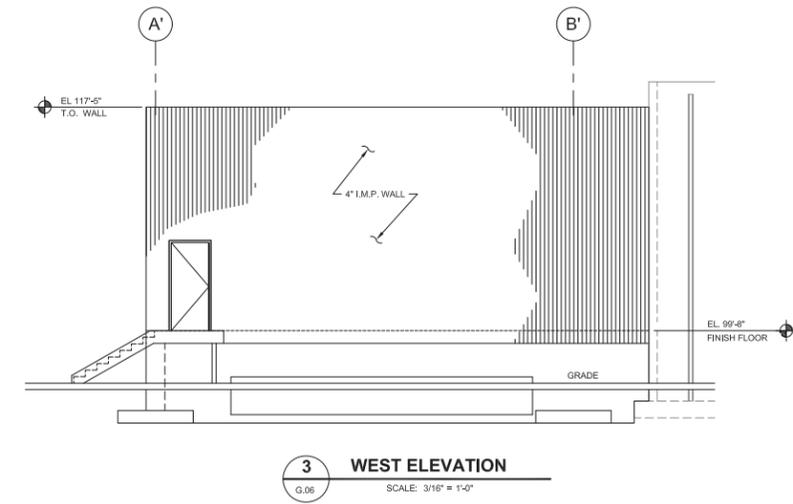
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 Scale: As Shown  
 Date: 9-12-2016  
 Rev: G.04



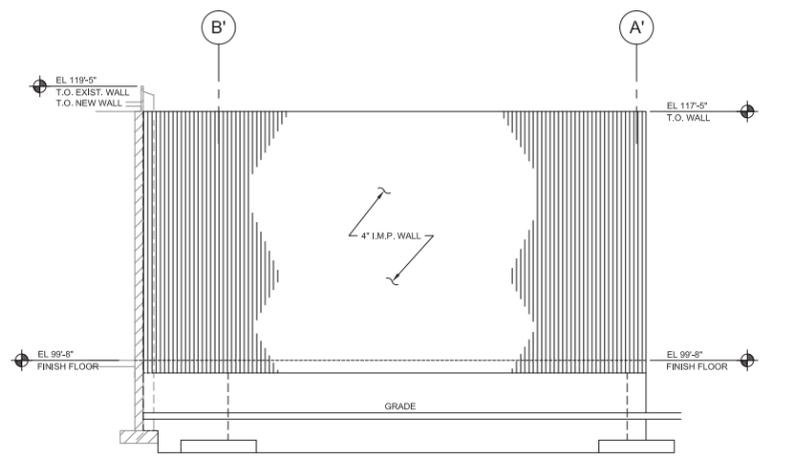
**1 PICKLE MAKE-UP BUILDING FLOOR PLAN**  
SCALE: 3/16" = 1'-0"  
G.06



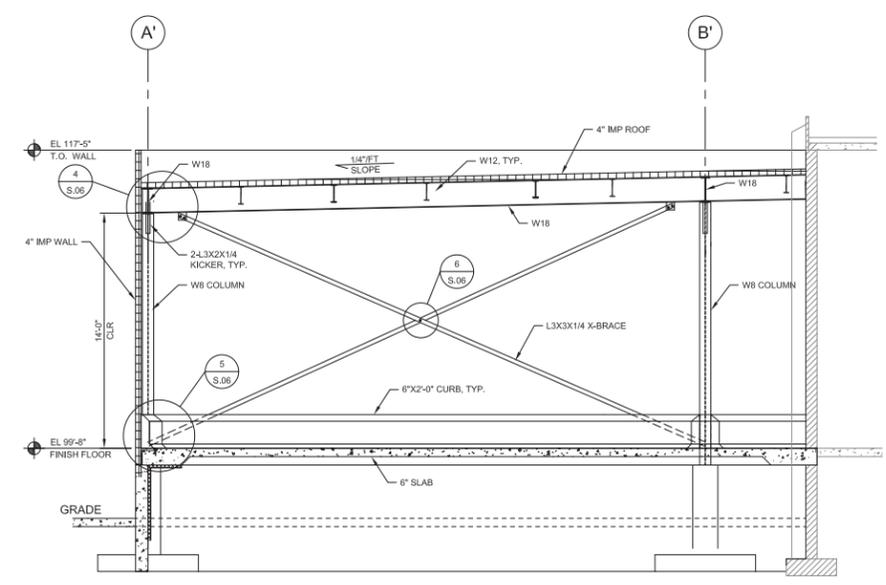
**2 PICKLE MAKE-UP BUILDING ROOF DRAINAGE PLAN**  
SCALE: 3/16" = 1'-0"  
G.06



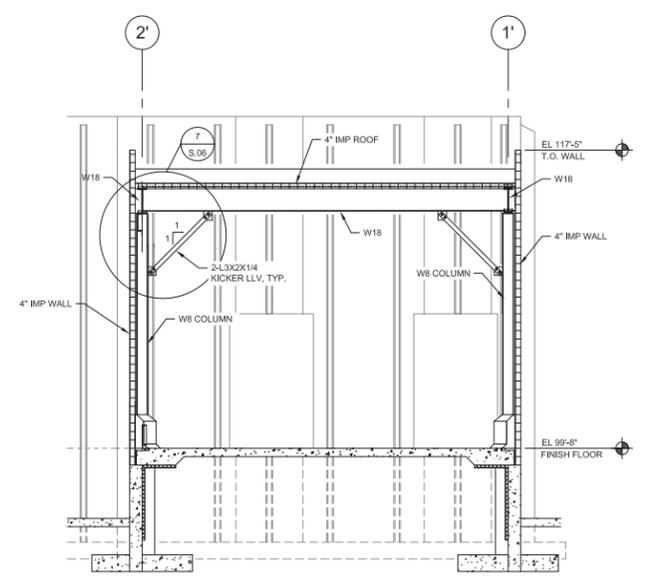
**3 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"  
G.06



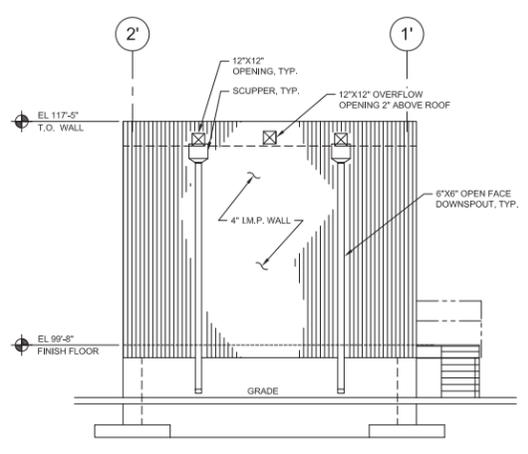
**4 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"  
G.06



**6 SECTION**  
SCALE: 1/4" = 1'-0"  
G.06



**7 SECTION**  
SCALE: 1/4" = 1'-0"  
G.06



**5 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"  
G.06

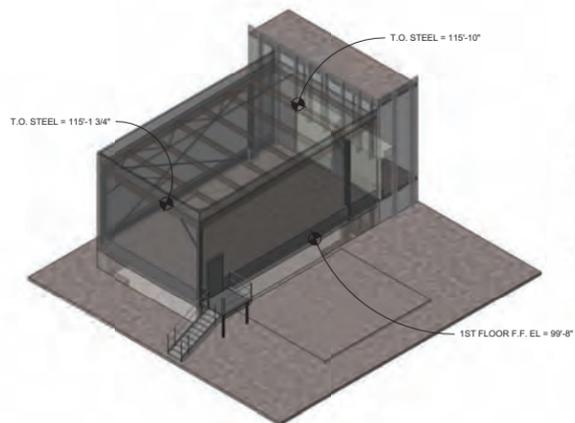


REV	ISSUE	DATE	DRWN	APRV
1	ISSUED FOR CONSTRUCTION	6/7/2016	TEL	RDS
2	SIGNATURE BLOCK & 2\"/>	8/12/2016	TEL	RDS
3	SIGNATURE BLOCK REMOVED	9/12/2016	TEL	RDS

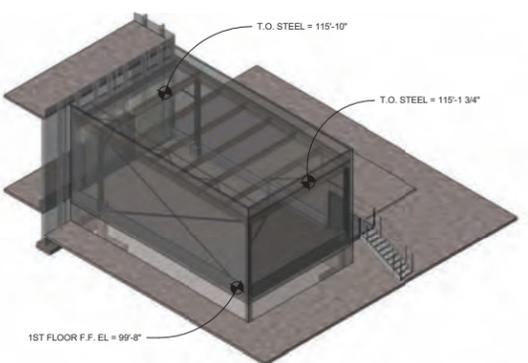
**Schneider Structural Engineering, Inc.**  
12925 West Dodge Road, Suite 104  
Omaha, Nebraska 68154  
Phone: 402-592-1160 Fax: 402-331-4289

**MPC COLORADO PREMIUM COLORADO**  
GREELEY COLORADO PREMIUM COLORADO  
COOLER ADDITION  
**PICKLE MAKE-UP BUILDING**

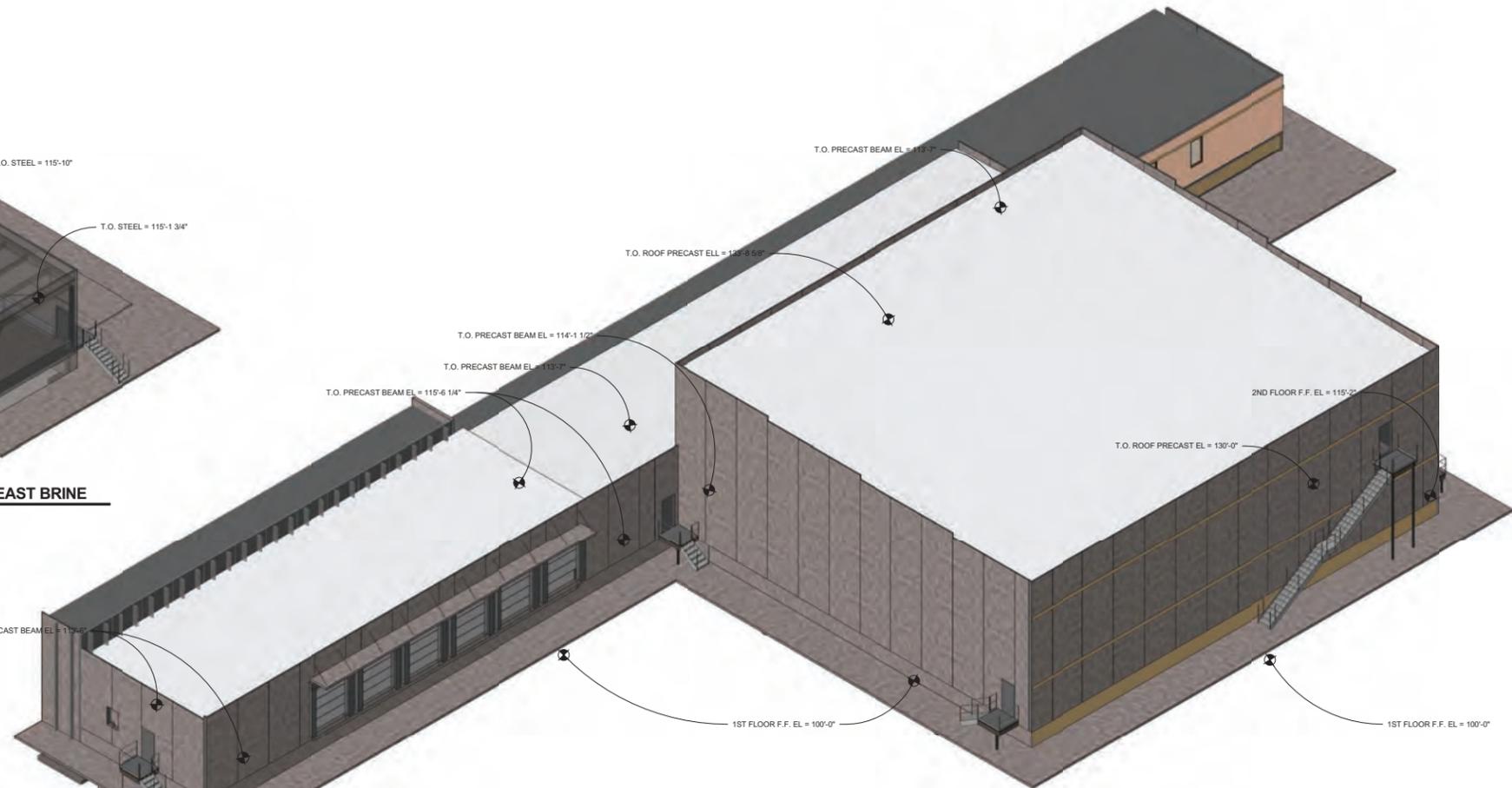
Project Number: 16903  
TEL: TEL RDS TEL RDS  
Scale: As Shown  
Rev: G.06



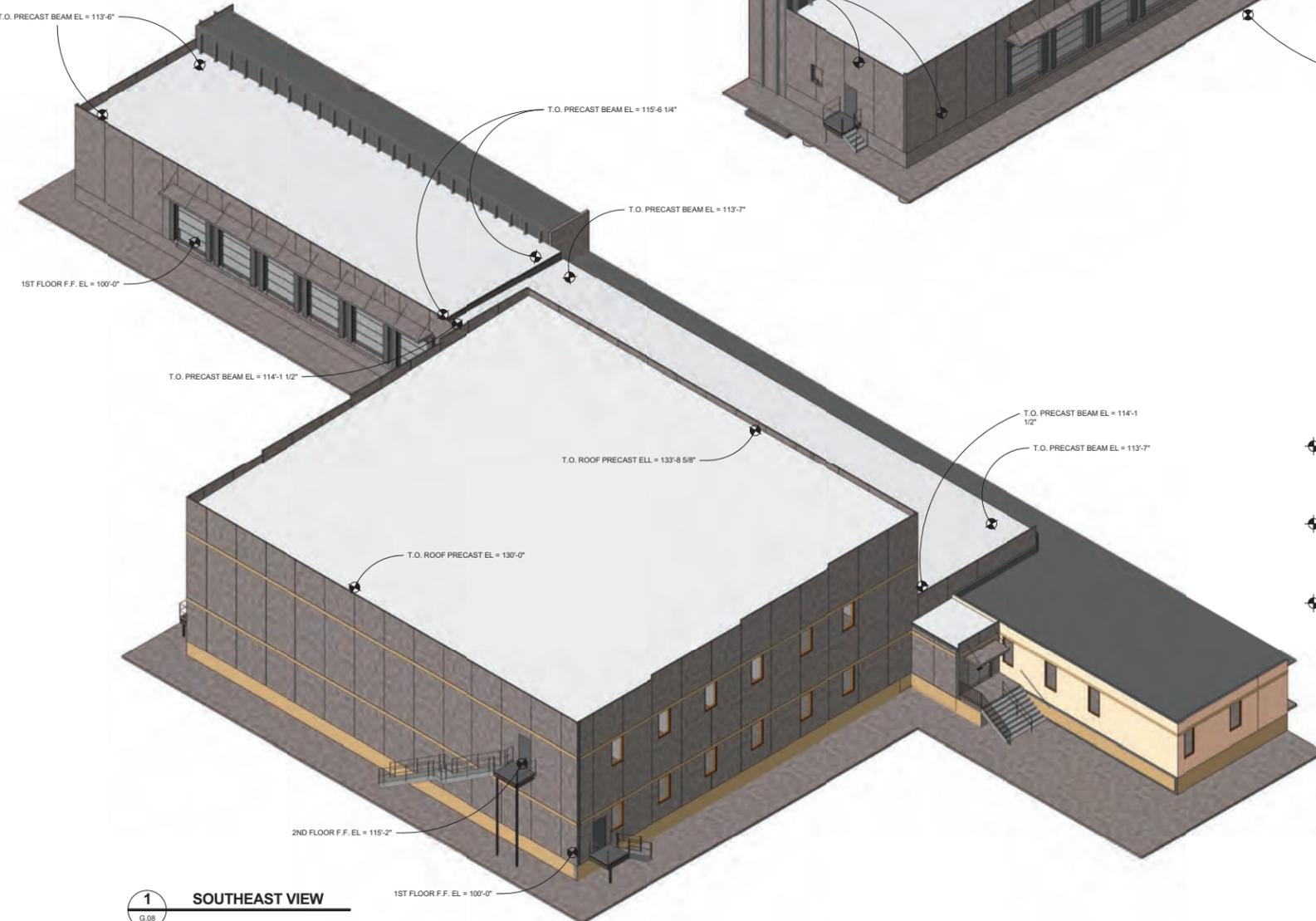
**3** NORTHWEST BRINE  
G.08



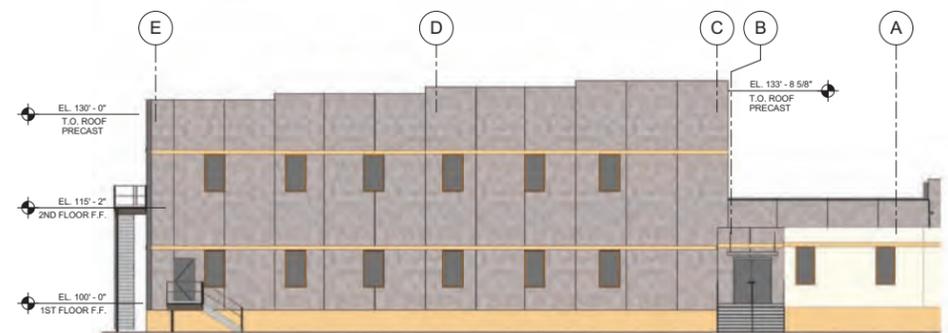
**4** NORTHEAST BRINE  
G.08



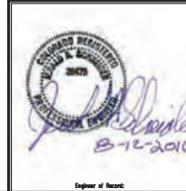
**2** SOUTHWEST VIEW  
G.08



**1** SOUTHEAST VIEW  
G.08



**5** EAST VIEW  
3/32" = 1'-0"  
G.08



NO.	DESCRIPTION	DATE	DRWN.	APPRV.
1	ISSUED FOR CONSTRUCTION	6/07/2016	TEL	RDS
2	ADD DETAILS - GENERAL REVISIONS	6/29/2016	TEL	RDS
3	REVISE STREET FACING BUILDING COLOR	-	AB	RDS

**Schneider Structural Engineering, Inc.**  
12925 West Dodge Road, Suite 104  
Omaha, Nebraska 68154  
\* Phone: 402-592-1160 \* Fax: 402-331-4269 \*

**MPC - COLORADO PREMIUM**  
GOREELEY  
COLORADO  
COOLER ADDITION  
NEW COOLER 3D VIEWS

Project Number: 16003  
Date: 8/27/16  
Scale: As Shown  
Sheet: G.08



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## **Project Narrative**

### **Background**

*Colorado Premium Foods (CPF) is an established Meat Processing and Packing Facility, located at 2035 2<sup>nd</sup> Avenue in Greeley, Colorado. CPF currently employs (250) two hundred and fifty members of the community. CPF's primary business is the production of Corned Beef Products, Steak Portions and Co-Packing.*

*The facility currently has a refrigerated cooler that can store approximately 600,000 pounds of product. During Peak Season (July through March), CPF is forced to load products into external refrigerated trailers due to exceeding the current product storage capacity. On average, CPF has to store approximately 300,000 pounds of products on these external trailers. This process is a costly and inefficient way to handle products due to double handling, trailer rental, fuel usage and space requirements.*

### **Project Scope**

*Colorado Premium has submitted plans to the City of Greeley to receive permits to add an additional Refrigerated Boxed Product Storage, Bulk Product Storage and Shipping Dock. This addition also includes a new upgraded Employee Cafeteria as well as additional office space. Project also includes a new Pickle Make-up Building.*

*The new addition was designed by Schneider Structural Engineering, Inc. (SSE), of Omaha, NE. SSE is registered as a Professional Engineer in the State of Colorado.*

*The Building Construction is designed using precast concrete. Attached within this submittal, we have included a copy of SSE's General Specifications, which defines the building construction.*



*The location of the Shipping Dock, Product Storage, Welfare and Office portion of the new addition is designed to attach to the south outside wall of the existing building.*

- 1. Room 105, Shipping and Receiving Dock; Approximately 3,554 SF. First Level. This area is designed with (6) six Dock Doors and a 286 Sq. ft., MCC (Room 106).*
- 2. Room 103, Combo Cooler; Approximately 2,417 SF. First Level. This area is designed with Comb Racks to store product.*
- 3. Room 104, Boxed Product Cooler; Approximately 6,880 SF. First Level. This area is designed with Pallet Racks to store product.*
- 4. Room 101, Vestibule; Approximately 121 SF. First Level. This area is designed as the new Employee Entrance.*
- 5. Room 102, Cafeteria; Approximately 3,392 SF. First Level. This area is designed with vending machines only.*
- 6. Second Level Office Area; Approximately 2,330 SF.*

*The location of the Pickle Make-up portion of the new addition is designed to attach to the northwest outside wall of the existing building.*

- 1. Room 107, Pickle Make-up; Approximately 899 SF. First Level. This area is designed to store product brine injection.*

***Summary:***

***Box Storage Addition 1<sup>st</sup> Floor 16,650 SF, 2<sup>nd</sup> Level 2,330 SF***

***Pickle Make-up Addition 1<sup>st</sup> Floor 899 SF***

***Total Project 19,879 SF***

*The area of the new addition on the south side of the facility requires us to relocate the vehicle entrance and security personnel to the south end of the property. This will include relocation of a portion of the employee parking area.*



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## PLANNING COMMISSION SUMMARY

**ITEM:** A Use by Special Review (USR) to allow for the expansion of a church in an R-L (Residential Low Density) zone district.

**PROJECT:** Family of Christ Use by Special Review

**CASE NO:** USR 12:16

**LOCATION:** 2410 35th Ave

**APPLICANT:** Melanie Foslien | KBN Engineers, on behalf of Family of Christ Presbyterian Church

**CASE PLANNER:** Brett Walker, AICP | Planner III

**PLANNING COMMISSION HEARING DATE:** November 22, 2016

**PLANNING COMMISSION FUNCTION:** Review the proposal for compliance with the City of Greeley Development Code and recommend a finding to the City Council to approve, approve with conditions, table the application for future consideration, or deny the request in accordance with Section 18.20.080(g)(1-3).

---

### EXECUTIVE SUMMARY

The applicant is requesting approval of a Use by Special Review (USR) to allow for an expansion of the church use, specifically to allow for the permanent placement of the old Carrel House, which is proposed to be utilized for classroom instruction, offices, and other accessory uses to a church.

**A. REQUEST**

The applicant is requesting approval of a USR to allow for an expansion of the church use.

**B. STAFF RECOMMENDATION**

Approval.

**C. LOCATION**

2410 35th Ave (see Attachment A – Vicinity Map)

**Current Zoning:**

R-L (Residential Low Density)

<b>Proposed Zoning:</b>	R-L (Residential Low Density)
<b>Abutting Zoning:</b>	North: R-L (Residential Low Density) South: R-L (Residential Low Density) East: R-L (Residential Low Density) West: PUD (Planned Unit Development and CL (Commercial Low Intensity)
<b>Site Conditions:</b>	The existing parcel contains a two-story church with a 2,202 square foot ground floor footprint, asphalt parking lot, small playground, garden area and utility sheds. The remaining portion of the lot is vacant. The lot generally slopes downward from west to east.
<b>Lot Size:</b>	4.564 Acres
<b>Abutting Land Uses:</b>	North: Residential South: Residential East: Vacant/Park/Residential West: 35 <sup>th</sup> Avenue/Medical Offices

**D. BACKGROUND**

The church has relocated the historic Carrel House from 1115 11th Street to their property with the intention of utilizing the structure as a community center. The applicant intends to construct a new foundation with a basement, set the house on the new foundation, and renovate the interior and exterior. The applicant intends to utilize the new facility for ministry and programming. The renovated house would have meeting/classroom space, a kitchen/dining space, temporary guest housing space, and flexible space. While the church hopes that the house renovation would bring increased visibility to the congregation and participation in its programs, it is unlikely that any increased usage of the church’s campus would negatively impact the neighborhood in terms of noise, vehicle traffic, or other nuisances (See Attachment B – Project Narrative).

**E. APPROVAL CRITERIA**

*Uses by Special Review possess characteristics which require a public hearing to determine if a proposed use has the potential to adversely affect other land uses, transportation systems, public facilities, or the like in the surrounding neighborhood. The Planning Commission may require conditions of approval necessary to eliminate or mitigate, to an acceptable level, any potentially*

*adverse effects of the proposed use. The following criteria shall be used to evaluate Use by Special Review requests [ref. Section 18.20.070 (a)(1-5)]:*

**1. The proposed use shall be consistent with the Comprehensive Plan.**

The following Comprehensive Plan Policies apply to this request:

Comprehensive Plan Policy LU2A7d

Development should be provided in a way that creates a meaningful focal point for the neighborhood and its support services and uses

Staff Comment: Churches have provided meaningful focal points for neighborhoods (and entire cities!) for many centuries and within a vast range of cultures and civilization.

This request complies with this Comprehensive Plan policy.

Comprehensive Plan Policy CD1B1

Reinforce the value and importance of historic aspects of the community's development by promoting the preservation of historic structures (see also CU1A3a, CU1C5, LU2A9, RE2A1 and RE3D1)

Staff Comment: Family of Christ Church sought out the opportunity to move the Carrel House from its location on 11<sup>th</sup> Street to the Church's location on 35<sup>th</sup> Avenue, thereby preserving the older structure and putting it to use.

This request complies with this Comprehensive Plan policy.

Comprehensive Plan Policy CU1A2

Through recognition and financial and related incentives, reduce barriers to preservation support and induce land owners to protect, improve and designate historically significant structures (see also RE2A1 and TR7B1)

Staff Comment: The applicant was given financial support to help with the actual move of the "Carrel House", which acted as an incentive for the Church and made the project more feasible.

This request complies with this Comprehensive Plan policy.

Comprehensive Plan Policy CU1A3

When considering land use applications, weigh the potential impact to any structures or areas of historic or potential historic merit

Staff Comment: The impact to this structure was that it was not demolished and enabled the expansion of Family of Christ’s operations as a church. While the Carrel House is not officially designated as a historic structure, the City’s Historic Preservation Office is willing to assist the owners with any applications should they seek out such a designation.

This request complies with this Comprehensive Plan policy.

This request complies with this criterion.

- 2. The location, size, design, and operating characteristics of the proposed use shall be compatible with the existing and future land uses within the general area in which the proposed use is to be located and will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses in the vicinity.**

Staff Comment: It is not expected that the additional space for education or office purposes would impact the surrounding neighbors. The site may have slightly more activity and be used at times other than generally associated churches (Sundays and Wednesdays), but it is not expected to create incompatible uses with the adjacent residential uses nor impact traffic along 35<sup>th</sup> Avenue.

This request complies with this criterion.

- 3. The site shall be physically suitable for the type and intensity of the proposed land use.**

Staff Comment: The site is currently used as a church and has been for a number of years. While the placement of the “Carrel House” doubles the square footage of building footprints on site, the overall site is of a size that affords considerable distance between the church use and adjacent residential uses.

This request complies with this criterion.

**4. The proposed land use shall not adversely affect traffic flow or parking in the neighborhood.**

Staff Comment: Off-Street parking requirements for this site would be met. Access to this site is exclusively from 35<sup>th</sup> Avenue. There is an access easement for drainage maintenance from Mountair Avenue that utilized only to the storm water facility at the rear of the lot. This proposal would not adversely affect traffic flow or parking in the neighborhood.

This request complies with this criterion.

**5. The location of other approved uses by special review in the neighborhood shall be determined so that a concentration and/or cumulative effect of such uses can be evaluated.**

Staff Comment: There have been no other USR's in the immediate vicinity in the past 10 years.

This request complies with this criterion.

*Use by Special Review applications shall also be reviewed to ensure that all of the applicable development standards of Chapter 18.38, Zoning District Development Standards, have been met, as well as any applicable overlay district provisions [ref. Section 18.20.070(b)].*

Staff Comment: Staff has reviewed the USR application and all comments and requirements regarding the Zoning District Development Standards have been addressed. The site is not within an overlay district that would impact site or architectural design standards.

This request complies with this criterion.

*Use by Special Review applications shall meet all applicable General Performance Standards found in Chapter 18.40, Parking Standards found in Chapter 18.42, Landscaping and Buffering Standards in Chapter 18.44, all applicable Design Review Performance Standards in Chapter 18.46 and if*

*applicable, Accessory and Temporary Uses, Structures and Buildings in Chapter 18.52, Areas of Ecological Significance, Chapter 18.48, Hillside Standards in Chapter 18.50, and Overlay Districts in Chapter 18.34 [ref. Section 18.20.070(c)]*

Staff Comment: Staff has reviewed the USR application and all comments and requirements regarding the applicable standards listed above have been addressed.

This request complies with this criterion.

**F. ADMINISTRATIVE REVIEW TEAM COMMENTS:**

The proposal was reviewed by the Administrative Review Team and all comments have been addressed.

**G. PHYSICAL SITE CHARACTERISTICS**

**1. SUBDIVISION HISTORY**

In 2011, a Minor Subdivision was approved creating two lots: The 4.5 acre lot that is the subject of this application (Lot 1), and a smaller lot dedicated to the City to mitigate storm water issues in the area (Lot 2). Previously, the site was largely unplatted, but included small portions of West Lake, Second Filing, and Belair Park, Seventh Addition.

**2. HAZARDS**

There are no known hazards on the site.

**3. WILDLIFE**

The site is not in an area of ecological significance.

**4. FLOODPLAIN**

The property is not located in any FEMA designated floodplains.

**5. DRAINAGE AND EROSION**

Drainage patterns expected to continue to follow the existing lay of the land, toward the east and into a regional detention facility south of the park.

**6. TRANSPORTATION**

Traffic information was included in the project narrative submitted by the applicant, and this information was reviewed by Staff. The relocated house is not expected to generate additional

traffic during services at the existing church, nor is it expected to generate greater amounts of traffic during its peak usage times than the existing church already generates during its services. Primary usage of the relocated house is expected to occur during mid-day (10am-2pm) or after work (5:30pm-9:30pm) hours. Since the majority of these usage times does not occur during the peak hour traffic of the surrounding public roadways, Staff is not concerned with the amount of traffic that would be generated by the relocated house with respect to surrounding roadways.

**7. SERVICES**

Water and Sewer are available to the site. (See Attachment E – Staff Aerial) The addition would be served by a compound tap with the existing church.

**H. PUBLIC NOTICE AND COMMENT:**

Letters regarding the proposed annexations were mailed to property owners within 500 feet of the site on November 15, 2016, pursuant to Development Code requirements. One sign was posted along 1<sup>st</sup> Avenue and a second along 28<sup>th</sup> Street on November 11, 2016. Diane Doyle, of 2456 Mountair Lane, called to inquire about the application and stated she was in favor of the relocation.

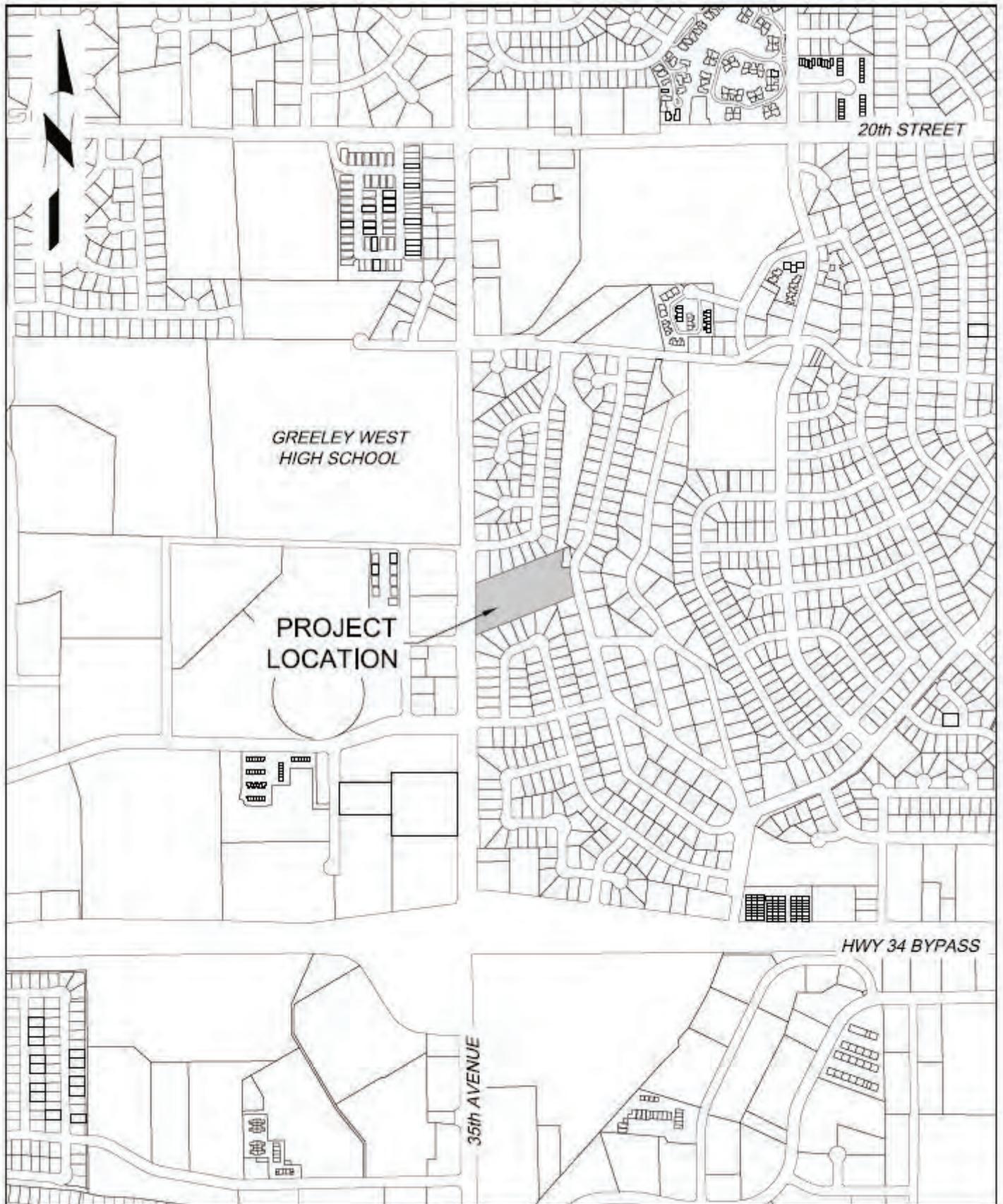
**I. PLANNING COMMISSION RECOMMENDED MOTION:**

Based on the application received and the preceding analysis, the Planning Commission find that the proposed Use by Special Review for request for an auto dealership facility over five (5) acres in size in the C-H (Commercial High Intensity) Zone District is consistent with the Development Code criteria of Section 18.38.140(b)(5), Alternative Compliance, and Section 18.20.070(a)(1 through 5), as outlined below:

**J. ATTACHMENTS:**

- Attachment A- Vicinity Map
- Attachment B- Aerial Map
- Attachment C- Project Narrative
- Attachment D- Site Plan
- Attachment E- Site Plan – Close Up
- Attachment E- Renderings – For Illustrative Purposes Only

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**VICINITY MAP**

SCALE: 1" = 1,000'±

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# Family of Christ Presbyterian Church | Use by Special Review

Attachment B



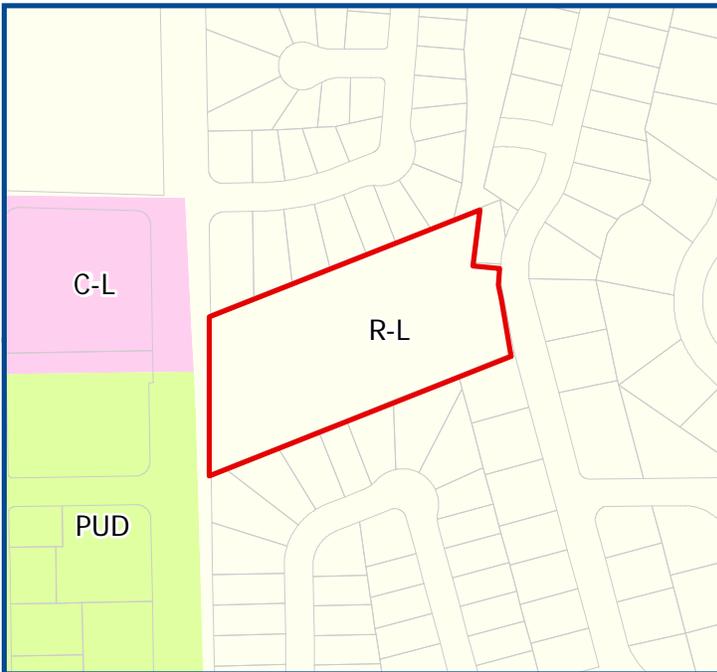
## Zone Districts

1 inch = 400 feet



## Aerial (w/countours)

1 inch = 400 feet



Created: November 4, 2016  
By: BRW  
File: USR 12:16

A Use by Special Review (USR) to allow for the expansion of a church use in order to permanently place the Carrel House as an accessory use to the church providing church office and classroom space.

### Notes:

All planimetric data was digitized from aerial photographs dated 1987, 1992, 1995, 2000, and 2005. Updates are continual and data representations will change over time. This product is not necessarily accurate to engineering or surveying standards but does meet National Mapping Accuracy Standards (NMAS). The information contained within this document is not intended to be used for the preparation of construction documents.

Information contained on this document remains the property of the City of Greeley. Copying any portion of this map without the written permission of the City of Greeley is strictly prohibited.

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## PROJECT NARRATIVE FAMILY OF CHRIST PRESBYTERIAN CHURCH OCTOBER 31, 2016

### **INTRODUCTION**

Family of Christ Presbyterian Church is located on Lot 1 of Family of Christ Minor Subdivision, part of the Southwest Quarter of Section 13, Township 5 North, Range 66 West of the 6<sup>th</sup> Principal Meridian, City of Greeley, County of Weld, State of Colorado, or more particularly at 2410 35<sup>th</sup> Avenue. The parcel is zoned R-L (Residential Low Density).

### **EXISTING CONDITIONS**

The existing parcel contains a two-story church with a 2,202 square foot ground floor footprint, asphalt parking lot, small playground, garden area and utility sheds. The remaining portion of the lot is vacant.

### **PROPOSED DEVELOPMENT**

The church relocated the historic Carrel House from 1115 11<sup>th</sup> Street to their property with the intention of utilizing the structure as a community center. The church plans to dig a new foundation with a basement, set the house on this new foundation, renovate the interior and exterior, and utilize it for ministry and programming. The specific use of the renovated facility has not entirely been solidified, but the intention is to use the house as an auxiliary facility to the existing church building. The renovated house will have meeting/classroom space, a kitchen/dining space, temporary guest housing space, and flexible space. While the church hopes that the house renovation will bring increased visibility to the congregation and participation in its programs, it is unlikely that any increased usage of the church's campus would negatively impact the neighborhood (in terms of noise, vehicle traffic, or other nuisances).

The change in the ground floor gross floor area is 51%. According to Table 18.44-7, any change in ground floor gross area requires a landscaping area upgrade. A variance request asking for a reduced amount of landscaping for this project has been requested.

### **ACCESS POINTS**

Currently, there is one (1) access point to the property off 35<sup>th</sup> Avenue into the parking lot. No additional access points are being requested with this application.

### **PEDISTRIAN ACCESS**

There is an existing sidewalk along the east side of 35<sup>th</sup> Avenue. No additional sidewalks are planned with this application.

### **UTILITIES**

The property is served by City of Greeley Water and Sewer Department. The existing water and sanitary sewer services will be tapped from the existing church services and extended to the new building. There is an existing 6" water line that connects to the existing 8" main running through the eastern portion of the property. This 6" water line has a fire hydrant stubbed off into the parking lot. The existing water service is tapped off the 6" main.

The property is served by Xcel Energy, Atmos Energy, Comcast Communications, and CenturyLink.

### **STORMWATER COLLECTION**

The land slopes generally southwest to northeast. There is an existing 42" storm drain that crosses the eastern portion of the parcel and empties to a concrete ditch via a flared end section. Additional stormwater facilities are not anticipated with this application.

### **TRAFFIC**

The pastor estimates the use of the house would generate an increase in traffic during the typical usage times for the campus, with the exception that Sunday morning (worship service) traffic would not be impacted. The usage of the facility would take place during non-peak traffic hours, as gatherings tend to be during midday (10am-2pm) or after work hours (5:30-9:30pm). During the morning hours, daily trips could range from 0 (on a non-usage day) to 30 (on a high usage day). In the afternoon/evening hours, daily trips could range from 0 per day (on a non-usage day) to 90 per day (on a very high usage day). The pastor estimates that non-usage days would average 1-2 per week and very high usage days to happen 1-2 per year. Given those estimates, the church would venture that the average daily trips would be somewhere between 3 and 10 vehicles.

### **LANDSCAPING**

The church will plant five (5) deciduous trees and install sod around the new building.

### **PHOTOMETRIC PLAN**

The existing parking lot, which sits adjacent to the proposed foundation site for the relocated historical house, is equipped with three 20' light posts. These lights are automated, with a photovoltaic system, to automatically turn on at dusk and turn off at dawn. With these fixtures illuminating the front of the house, the only other exterior lighting for the house would be standard residential porch lights and motion-activated flood/security lights on each of the back corners of the house.

### **OIL & GAS FACILITIES**

There are no existing oil and gas facilities located on this property, nor are any anticipated in the future.

### **MINERAL RIGHTS**

According to a search of public records by Mineral Resources, Inc., the church owns the mineral rights to this property.

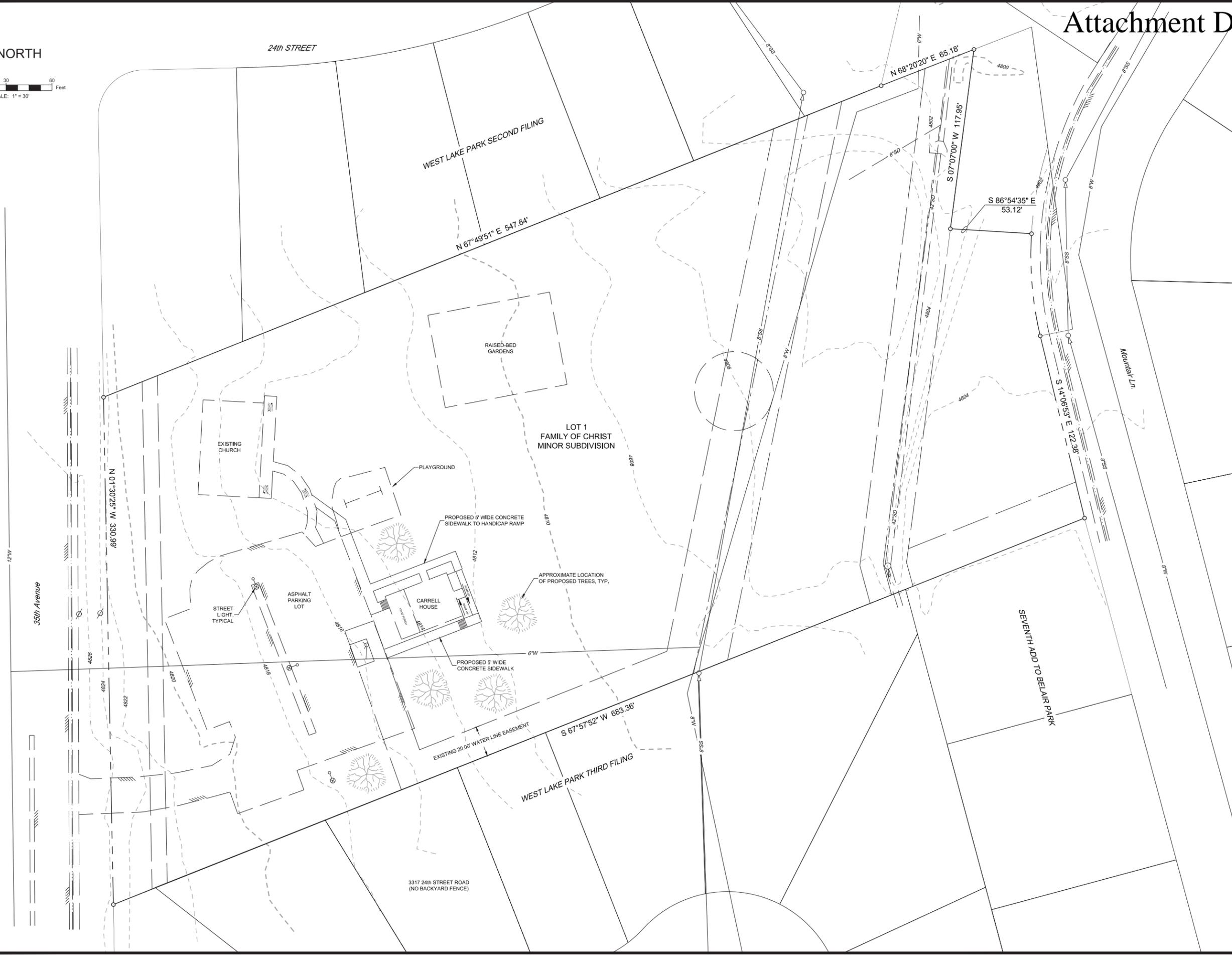
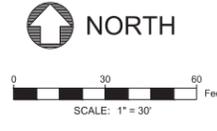
### **FLOODWAY**

According to the Federal Emergency Management Agency's Flood Insurance Rate Map (FIRM) Community Panel Number 08123C1540E, effective January 20, 2016, the parcel is located in a non-printed map area, so there are no flood hazard risks to this parcel.

### **RECOVERABLE GRAVEL RESOURCES**

According to "Special Publication 5-B, Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties" for Colorado Geological Survey, Department of Natural Resources, State of Colorado, published in 1974, revised 1975, there are no upland deposits with probable aggregate resources. However, due the size of the property, recovering any resources from this site would not be viable.

# Attachment D



REVISIONS	DESCRIPTION	DATE	BY

**KBN ENGINEERS**  
**KETTERLING, BUTHERUS & NORTON**  
 820 8th Street Greeley, Colorado  
 (970) 395-9880

DESIGNED: **GMW**  
 DRAWN: **MCF**  
 CHECKED: **MCK**

KETTERLING, BUTHERUS & NORTON ENGINEERS  
 PRELIMINARY REVIEW SET NOT FOR CONSTRUCTION  
 820 8th STREET GREELEY, CO

**Church of Christ Presbyterian Church USR**  
**Greeley, Colorado**

**Site Plan**

PROJECT NO. <b>1268-001</b>
SCALE: HORIZ: 1" = 30' VERT: NA
DATE <b>JUNE 20, 2016</b>
SHEETS <b>43</b>
SHEET <b>1</b>

XREF: P:\1268-001\AUTOCAD\1268-001\BASE\_PLOT.dwg; P:\1268-001\AUTOCAD\BASE\_PLOT.dwg; Saved: Mon, June 20, 2016, 3:43:57pm  
 Drawing: P:\1268-001\AUTOCAD\1268-001\Site Plans.dwg; Saved: Mon, June 20, 2016, 3:43:57pm; Drawing Title: SITE PLAN; Plot: Mon, June 20, 2016, 3:43:57pm

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Carrel House

Cut Flower Garden

Playground

New Sidewalk

Berm

Swale

Parking Lot



